

SECTION 00 91 13 – FORM OF ADDENDUM

ADDENDUM # 1

DATE: April 11, 2025

**FOR: PCDL – NEW LEXINGTON
ADDITION & RENOVATION**

This addendum consists of **23** Pages.

TO ALL BIDDERS

This addendum supplements and amends the original drawings and specifications and shall become part of the Contract Documents. Additional work herein shall be done in the manner described in the original drawings and specifications, insofar as it applies or is amended below;

CLARIFICATIONS:

Item #1 Pre-Bid Meeting

- a. Sign-In Sheet attached.

Item #2 Specifications – Notice to Bidders – 00 00 04

- a. REVISE BID DATE
Bid Date extended to 9:00 a.m., May 2, 2025, at same location (Perry County District Library – New Lexington Branch)

Item #3 Specifications – replace Bid Form – 00 30 00 with attached

- a. REVISE BID OPENING DATE
Bid Date extended to 9:00 a.m., May 2, 2025, at same location (Perry County District Library – New Lexington Branch)

SPECIFICATIONS:

Item #1 OVERHEAD SECTIONAL DOORS – 08 36 00

- a. SECTION 2.3; E; 4 – revise to read..."***115V, 1-phase***"

Item #2 TOILET AND BATH ACCESSORIES – 10 28 00

- a. SECTION 2.03; A – delete paper towel dispensers – Owner will furnish manual paper towel dispensers, and the Contractor will install.

DRAWINGS:

STRUCTURAL DRAWINGS

Item #1 Floor Framing Plan – replace S2.1 with attached

- a. Revised plan notes
- b. Added keynote #16 & #17

Item #2 Framing Details – replace S4.1 with attached

- a. Revised detail #02 (“Wall Top and Bottom Track Splice”)
- b. Revised detail #03 (“End Connection”, “Jamb Anchorage”)
- c. Revised detail #04
- d. Added new detail #06 (“Stud Wall X-Bracing”)

Item #3 Roof Framing Details – replace S7.1 with attached

- a. Revised detail #03
- b. Added new detail #05 (“Wall Top Wood Stud Plate Splice”)

ARCHITECTURAL DRAWINGS

Item #1 Drawing Cover Sheet – replace with attached

Item #2 Life Safety Floor Plan – replace LS-100 with attached

- a. Remove paper towel dispensers in restrooms (Women’s 004, Men’s 005, Women’s 103, Men’s 104) – Owner will furnish paper towel dispensers, and Contractor will install.
- b. Added missing existing door #102A (Janitor/Mech 102)

Item #3 New Construction Lower-Level Floor Plan – replace A-100 with attached

- a. Remove paper towel dispensers in restrooms (Women’s 004, Men’s 005, Women’s 103, Men’s 104) – Owner will furnish paper towel dispensers, and Contractor will install.
- b. Added missing existing door #102A (Janitor/Mech 102)

Item #4 New Construction Upper-Level Floor Plan – replace A-102 with attached

- a. Remove paper towel dispensers in restrooms (Women’s 004, Men’s 005, Women’s 103, Men’s 104) – Owner will furnish paper towel dispensers, and Contractor will install.
- b. Added missing existing door #102A (Janitor/Mech 102)

Item #5 Lower-Level Finish Floor Plan – replace A-104 with attached

- a. Remove paper towel dispensers in restrooms (Women’s 004, Men’s 005, Women’s 103, Men’s 104) – Owner will furnish paper towel dispensers, and Contractor will install.
- b. Added missing existing door #102A (Janitor/Mech 102)

Item #6 Upper-Level Finish Floor Plan – replace A-105 with attached

- a. Remove paper towel dispensers in restrooms (Women’s 004, Men’s 005, Women’s 103, Men’s 104) – Owner will furnish paper towel dispensers, and Contractor will install.
- b. Added missing existing door #102A (Janitor/Mech 102)
- c. Alternate GC-1 to include floor tile at upper landing in Stair 101

Item #7 New Construction Exterior Elevations – replace A-200 & A-201 with attached

- a. Base of window unit to be cut for relocated door #010C and brick to be turned around door frame

- b. Accent brick to be turned at corners of addition to match the existing
- c. Accent brick to be turned around frame of door #020A, #022B and upper-level windows to match existing
- d. Revised coded notes

Item #8 Interior Elevations & Enlarged Floor Plans – replace A-220 with attached

- a. Remove paper towel dispensers in restrooms (Women's 004, Men's 005, Women's 103, Men's 104) – Owner will furnish paper towel dispensers, and Contractor will install.
- b. Revised coded notes
- c. Revised interior elevations (Details 1/A-220, 2/A-220, 5/A-220, 8/A-220, 10/A-220, & 11/A-220)
- d. Revised enlarged plans (Details 15/A-220 & 16/A-220)

PLUMBING, MECHANICAL, ELECTRICAL DRAWINGS

Item #1 Lower-Level Lighting Plan – replace E-101 with attached

- a. Revised plan notes
- b. Relocated fire alarm devices to power plan (E-201)

Item #2 Lower-Level Power Plan – replace E-201 with attached

- a. Revised plan notes
- b. Relocated fire alarm devices from lighting sheet (E-101) to this sheet

Item #3 Upper-Level Power Plan – replace E-202 with attached

- a. Added additional new fire devices to restrooms and genealogy room

END OF SECTION

PROJECT MEETING SIGN-IN SHEET

Date:	4/9/2025
Project Name:	PCDL - New Lexington Addition & Renovation
Project Number:	2438

	NAME	COMPANY	PHONE	E-MAIL
1.	Brian Addis	APG Architects (APG)	740-819-5363	baddis@apg-architects.com
2.	COREY ADAMS	WOLF CREEK CONTRACTING	740-749-5821	CADAMS@WOLF CREEK CONTRACTORS.COM
3.	Damon Singleton	Grace-Con	740-381-0316	dsingleton@gracecon.com
4.	Joe ANDERSON	McKEE PAVING	740-823-0195	joeanderson@MCKEEPAVING.COM
5.	Myron GORMAN	G+M Const	740 4520153	Gm Construction @ G+M construction.com
6.	Ashley Gormany	G+M construction	740 45200153	gmconstruction@gandmconstructioninc.com
7.	Tristan Hostetter	Elford	614-906-6674	thostetter@elford.com
8.	PAUL LASH	PAUL CONSTRUCTION	740-819-2199	PLASH@PAUL CONSTRUCTION.NET
9.	Joe Bontrager	Bontrager Mech ^{Plumbing}	740-407-7340	joe@bontragermech.com
10.	Kari Kessler	Lepi Enterprises Inc	740-704-0584	kjckessler@lepienterprises.com
11.	Wayde Gutmidge	Gutmidge	740-404-0500	wgutmidge@gutmidge.com
12.				
13.				
14.				
15.				
16.				
17.				

SECTION 000300 – BID FORM

PROJECT TITLE: *PCDL – NEW LEXINGTON
ADDITION & RENOVATION*

BID OPENING DATE: *May 2, 2025*

CONTRACT TIME: *Substantial Completion – 210 Calendar Days from Notice to Proceed
Completion Date – 240 Calendar Days from Notice to Proceed*

Having read and examined the Contract Documents, including without limitation the Drawings and Specifications, prepared by the Associate for the above referenced project and the following Addenda :

ADDENDUM NO.:____ dated_____

ADDENDUM NO.:____ dated_____

ADDENDUM NO.:____ dated_____

ADDENDUM NO.:____ dated_____

and likewise having inspected the site of and the conditions of said project, the undersigned proposes to furnish all material and perform all labor, as specified, described and shown in the Project Manual and Drawings for the work, within the time set forth herein, and at the prices stated in the Bid Schedule.

The Bidder, in compliance with the Instructions to Bidders, agrees to hold the bid open for the stated period and abide by the terms for disposition of bid security.

By submission of this Bid, each Bidder certifies, and in the case of a joint Bid each party thereto certifies as to its organization, that this Bid has been arrived at independently without consultation, communication or agreement as to any matter relating to this Bid with any other Bidder or competitor.

BIDS shall include applicable taxes and fees. (See Instructions to Bidders and Supplementary Instructions to Bidders for sales tax exclusion.)

BID SCHEDULE

For the purpose of bidding, the following line-item costs are being solicited (each line item must have a Bid).

BID ITEM #1 **TOTAL COMBINED GENERAL CONSTRUCTION CONTRACT WORK**

- Does not include any add alternates listed on Bid Form

TOTAL MATERIAL AND LABOR for the sum of

_____ DOLLARS (\$_____)

ALTERNATE BID SCHEDULE

For the purpose of bidding, the following line-item costs are being solicited (each line item must have a Bid).

ALTERNATE BID ITEM #1 – ADD ALTERNATE GC-1

- Refer to specification section 01 23 00 – ALTERNATES AND ALLOWANCES and drawings for complete description

TOTAL MATERIAL AND LABOR for the sum of

_____ DOLLARS (\$_____)

ALTERNATE BID ITEM #2 – ADD ALTERNATE GC-2

- Refer to specification section 01 23 00 – ALTERNATES AND ALLOWANCES and drawings for complete description

TOTAL MATERIAL AND LABOR for the sum of

_____ DOLLARS (\$_____)

ALTERNATE BID ITEM #3 – ADD ALTERNATE GC-3

- Refer to specification section 01 23 00 – ALTERNATES AND ALLOWANCES and drawings for complete description

TOTAL MATERIAL AND LABOR for the sum of

_____ DOLLARS (\$_____)

Date: _____

By: _____ : _____ Title

Company Name: _____

Business Address: _____

Telephone Number(s): _____

THE ABOVE PROPOSES TO USE THE FOLLOWING MAJOR SUBCONTRACTORS TO EXECUTE THE WORK

GENERAL TRADES; _____

PLUMBING SUBCONTRACTOR; _____

HVAC SUBCONTRACTOR; _____

ELECTRICAL SUBCONTRACTOR; _____

SUBSTITUTION SHEET

Refer to Substitutes Section in the Specifications regarding the use of materials or methods other than "Standards". All bids shall be based on the "Standards" specified.

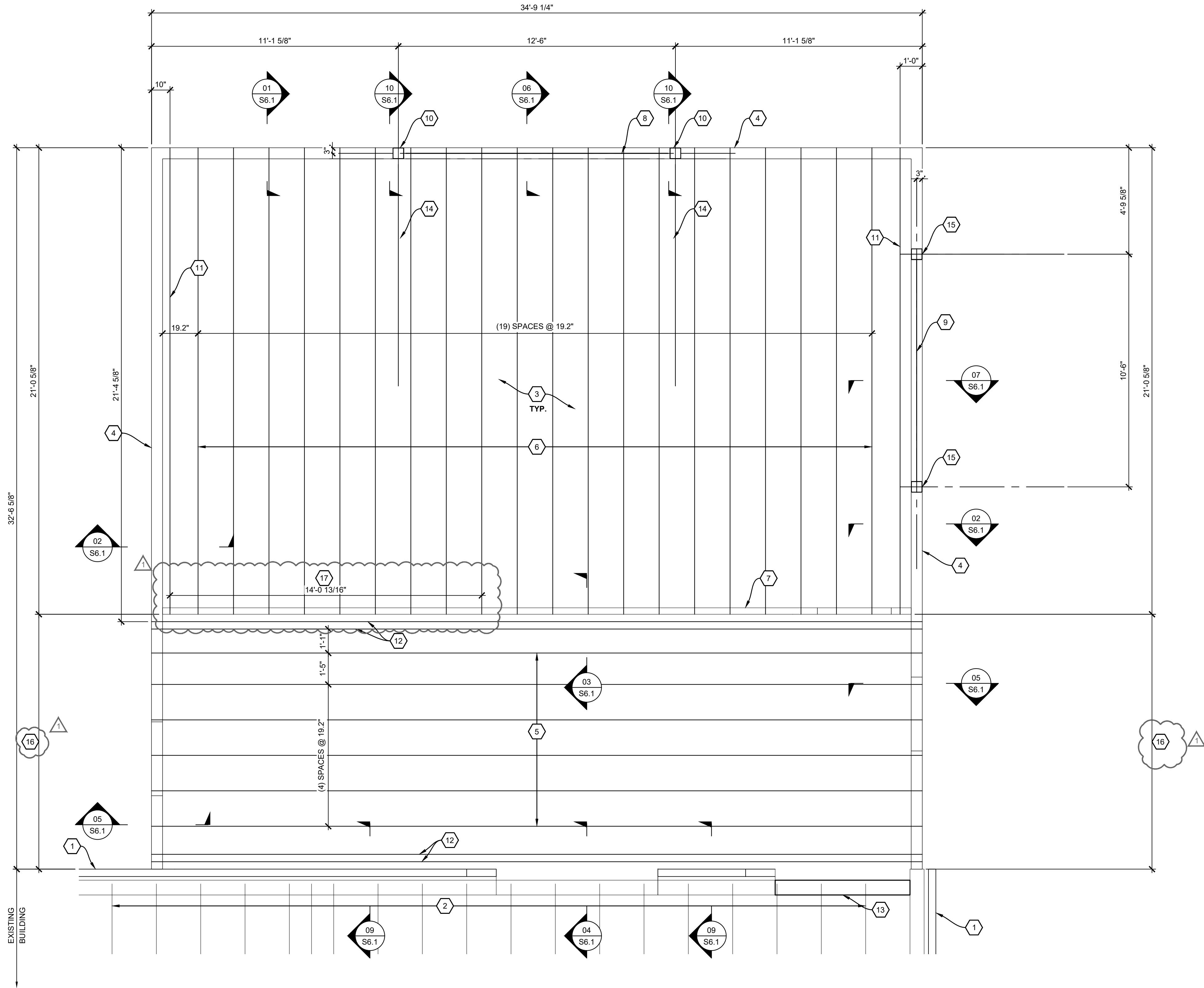
Bidder shall list all "Substitutions" for which consideration is desired, showing the addition or reduction in price to be made, for each, if the substitutions is accepted, or stating "No Change In Price" if none proposed. Change in price reflects all material and labor for proposed substitution.

MATERIAL SPECIFIED	SUBSTITUTION	ADD	DEDUCT	NO CHANGE

It is understood and agreed that the Proposal submitted is based on furnishing "Standards" as specified and entitles the Owner to require that such named materials and methods be incorporated in the Work, except as substitutions, if they are accepted, based on the supplementary quotations entered above, are accepted, and subsequently made a part of the written Contract.

Signature of Bidder

END SECTION

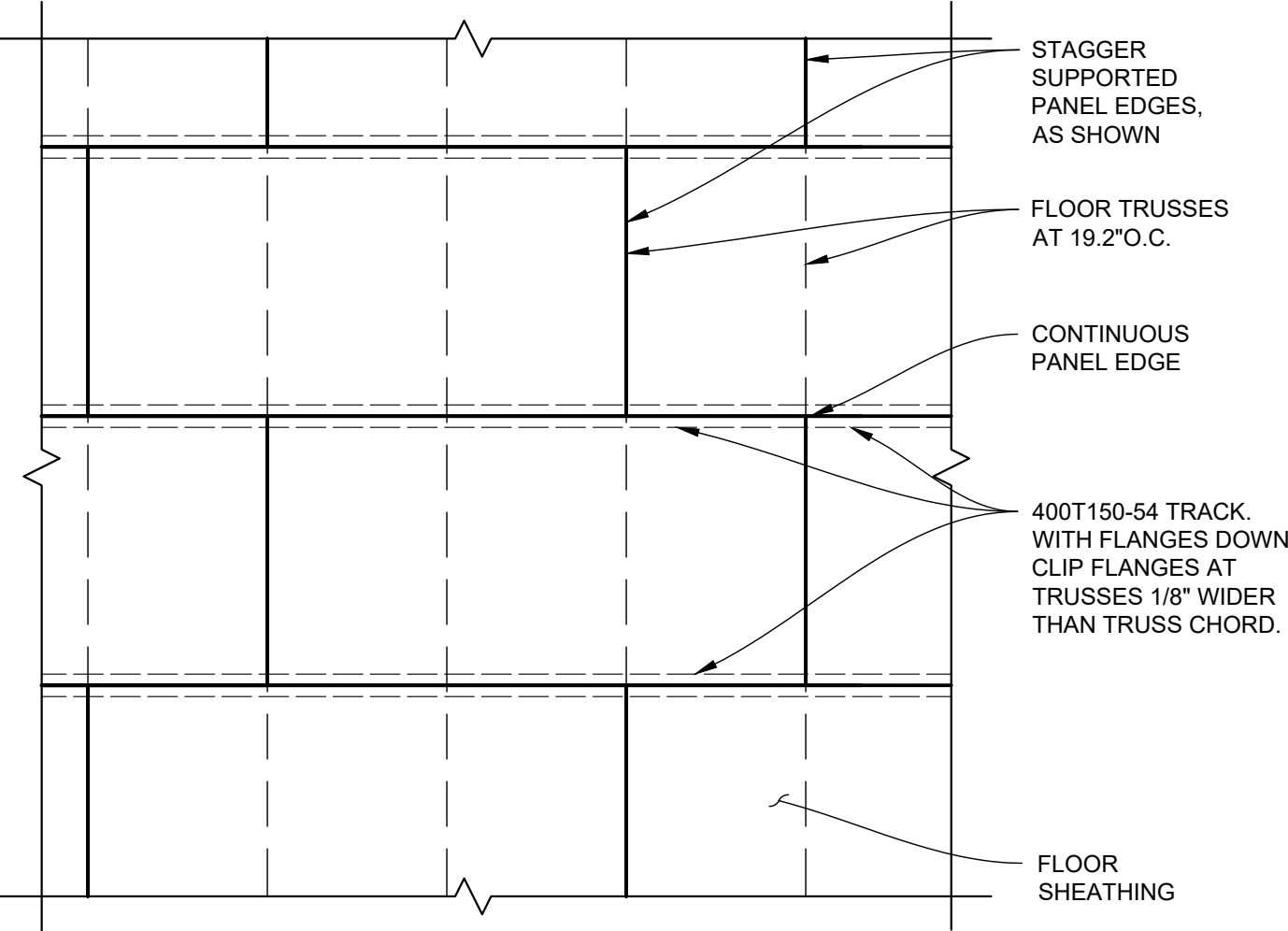


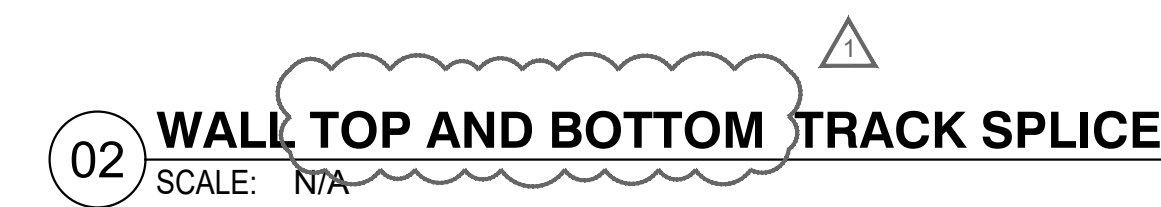
UPPER LEVEL FLOOR FRAMING PLAN NOTES	
A	SEE SHEETS S0.1 AND S0.2 FOR GENERAL NOTES.
B	ALL ELEVATIONS ARE RELATIVE TO A FINISH UPPER LEVEL FLOOR ELEVATION OF 100'-0" (REFERENCE ONLY). FIELD VERIFY.
C	EXISTING CONDITIONS ARE BASED UPON LIMITED ORIGINAL STRUCTURAL DRAWINGS. ALL CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION OR PROCUREMENT OF ANY ELEMENT. NOTIFY THE ARCHITECT OF RECORD OF ANY DISCREPANCY.
D	DIMENSION ARE FROM FACE OF COLD FORM STEEL STUD WALLS AND CENTERLINE OF COLUMN, U.N.C.
E	SEE S4.1 FOR TYPICAL STUD DETAILS.
F	ALL STUD WALLS TO HAVE TOP AND BOTTOM TRACK TO MATCH STUD DEPTH AND GAUGE WITH 1 1/4" FLANGE LEGS.
G	UPPER LEVEL FINISHED FLOOR ELEVATION TO MATCH EXISTING.

KEYED NOTES	
#	
1	EXISTING BUILDING WALL. FIELD VERIFY.
2	EXISTING FLOOR JOISTS. FIELD VERIFY.
3	3/4" USG STRUCTO-CRETE BRAND STRUCTURAL PANELS INSTALLED PER ICC-ES ESR-1792.
4	600S162-54 COLD-FORMED STEEL STUD WALL FRAMING SPACED 19.2" O.C. MAX. ALIGN WALL STUDS WITH PREFABRICATED COLD FORMED STEEL FLOOR TRUSSES.
5	28" PRE-ENGINEERED, PREFABRICATED COLD FORMED STEEL FLOOR TRUSSES SPACED 19.2" O.C. MAX.
6	18" PRE-ENGINEERED, PREFABRICATED COLD FORMED STEEL FLOOR TRUSSES SPACED 19.2" O.C. MAX.
7	350S250-68 COLD FORMED STEEL STUD WALL FRAMING SPACED 19.2" O.C. MAX. ALIGN WALL STUDS WITH PREFABRICATED COLD FORMED STEEL FLOOR TRUSSES.
8	HSS12x6x5/16 w/3/8" THICK VENEER SHELF PLATE, BOTTOM OF BEAM= 9'-8".
9	HSS12x6x5/16 w/3/8" THICK VENEER SHELF PLATE, BOTTOM OF BEAM= 9'-2".
10	HSS COLUMN PER FOUNDATION PLAN.
11	18" PRE-ENGINEERED, PREFABRICATED COLD FORMED STEEL FLOOR TRUSS DESIGN FOR L480 DEFLECTION BASED ON A FULL 19.2" TRIBUTARY LOADING.
12	(2) 28" PRE-ENGINEERED, PREFABRICATED COLD FORMED STEEL FLOOR TRUSSES AT 4" O.C. DESIGN FOR L480 DEFLECTION BASED ON A FULL 19.2" TRIBUTARY LOADING.
13	NEW MASONRY LINTEL IN EXISTING CMU WALL. SEE ARCH. FOR LINTEL ELEVATION. SEE S4.1-05 FOR LINTEL SCHEDULE.
14	600S162-54 STRUT, WEB HORIZONTAL, EXTEND 10'-0". FASTEN TO DIAPHRAGM PER SUPPORTED PANEL EDGE REQUIREMENT. SEE SECTION.
15	HSS COLUMN PER FOUNDATION PLAN, NEST INTO TOP TRACK.
16	600S200-54 COLD-FORMED STEEL STUD WALL FRAMING SPACED 19.2" O.C. MAX. ALIGN WALL STUDS WITH PREFABRICATED COLD FORMED STEEL FLOOR TRUSSES.
17	FLAT STRAP STUD WALL X-BRACING AT INTERIOR BEARING WALL. SEE S4.1-06 .

EXTERIOR WALL SHEATHING SCHEDULE			
SHEATHING	FASTENING: NO. 8 SELF-TAPPING SCREWS WITH A MINIMUM HEAD DIAMETER OF 0.285" OR NO. 10 SELF-TAPPING SCREWS WITH A MINIMUM HEAD DIAMETER OF 0.333"		
	MAXIMUM SPACING		
	WALL TYPE	SUPPORTED PANEL EDGES	INTERMEDIATE SUPPORTS
7/16 OSB OR 15/32" PLYWOOD APA SPAN RATED SHEATHING 32/16 EXPOSURE 1	TYPICAL WALL FRAMING	6"	1'-0"

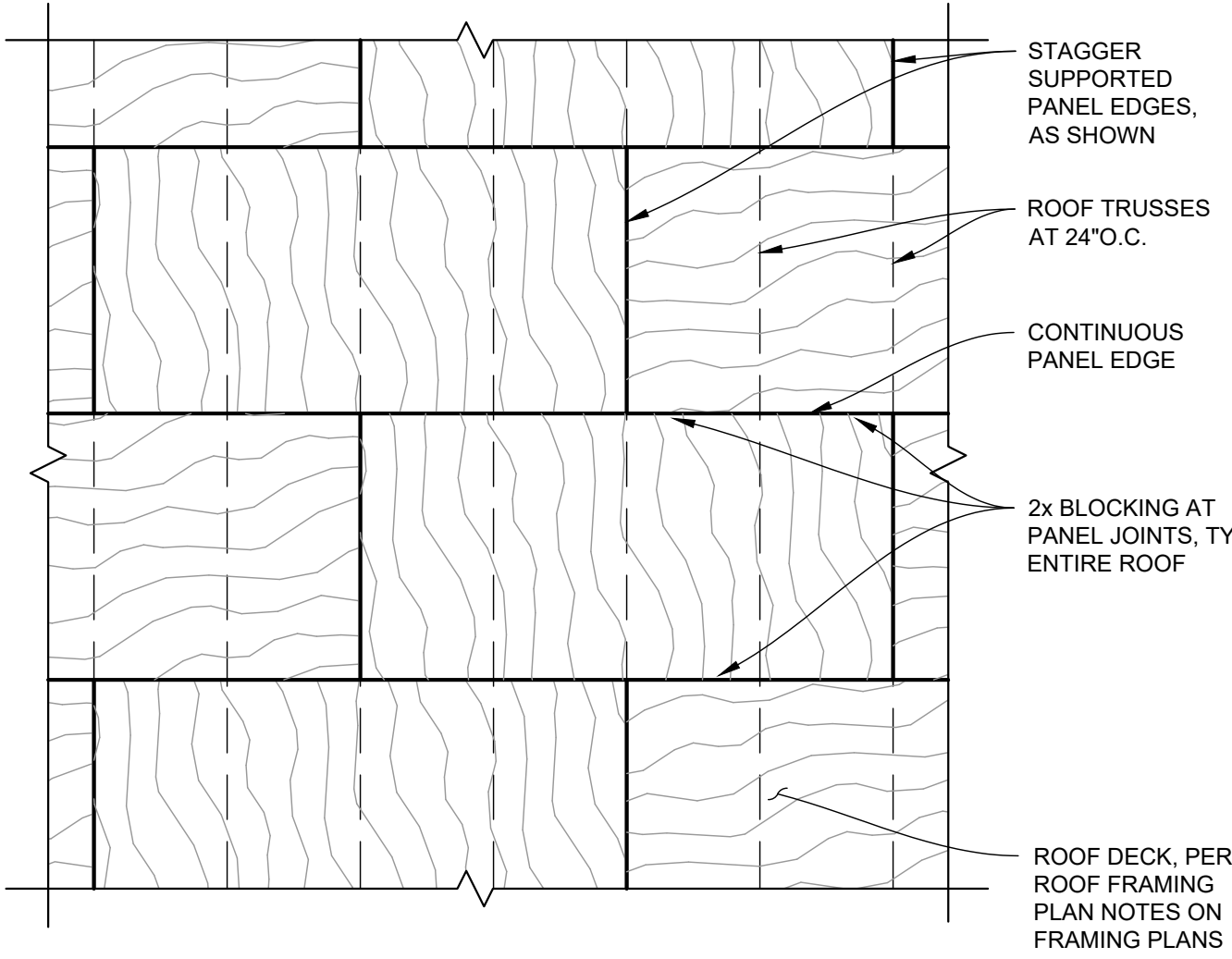
FLOOR SHEATHING SCHEDULE		
SHEATHING	FASTENING: NO. 8 x 1 5/8" WINGED SELF-DRILLING SCREWS PER ESR-4223 OR ESR-4208. NO ALTERNATES ARE PERMITTED.	
	MAXIMUM SPACING	
	SUPPORTED PANEL EDGES	INTERMEDIATE SUPPORTS
3/4" USG STRUCTO-CRETE. REFER TO ESR-1792 FOR ADDITIONAL REQUIREMENTS.	0'-8"	1'-0"



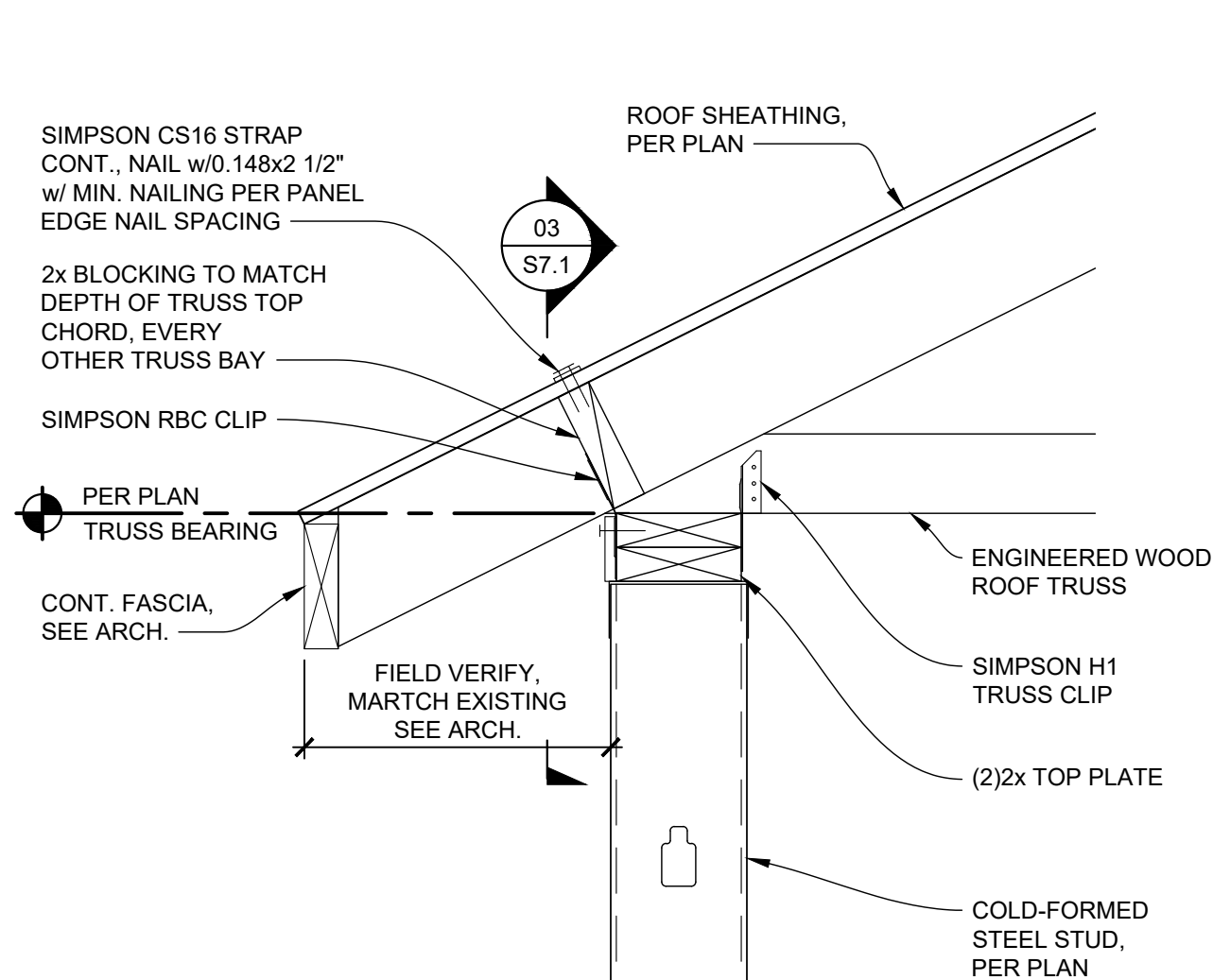


REVISIONS:		
Δ	DATE:	NOTE:
Δ	04/07/2025	ADDENDUM 1
JOB #:	DATE:	
0000	25 MAR 14	
SHEET #:		

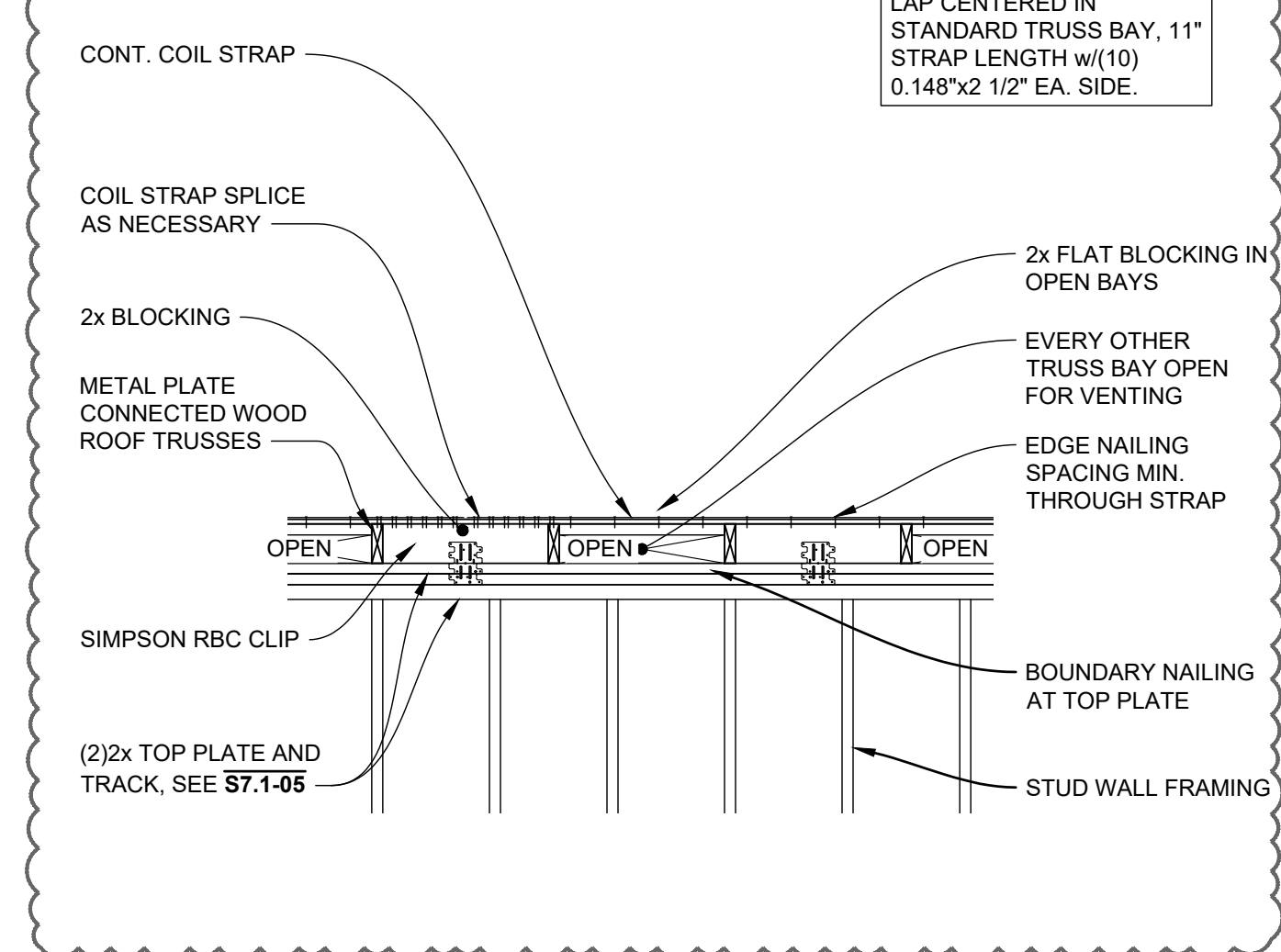
64.1



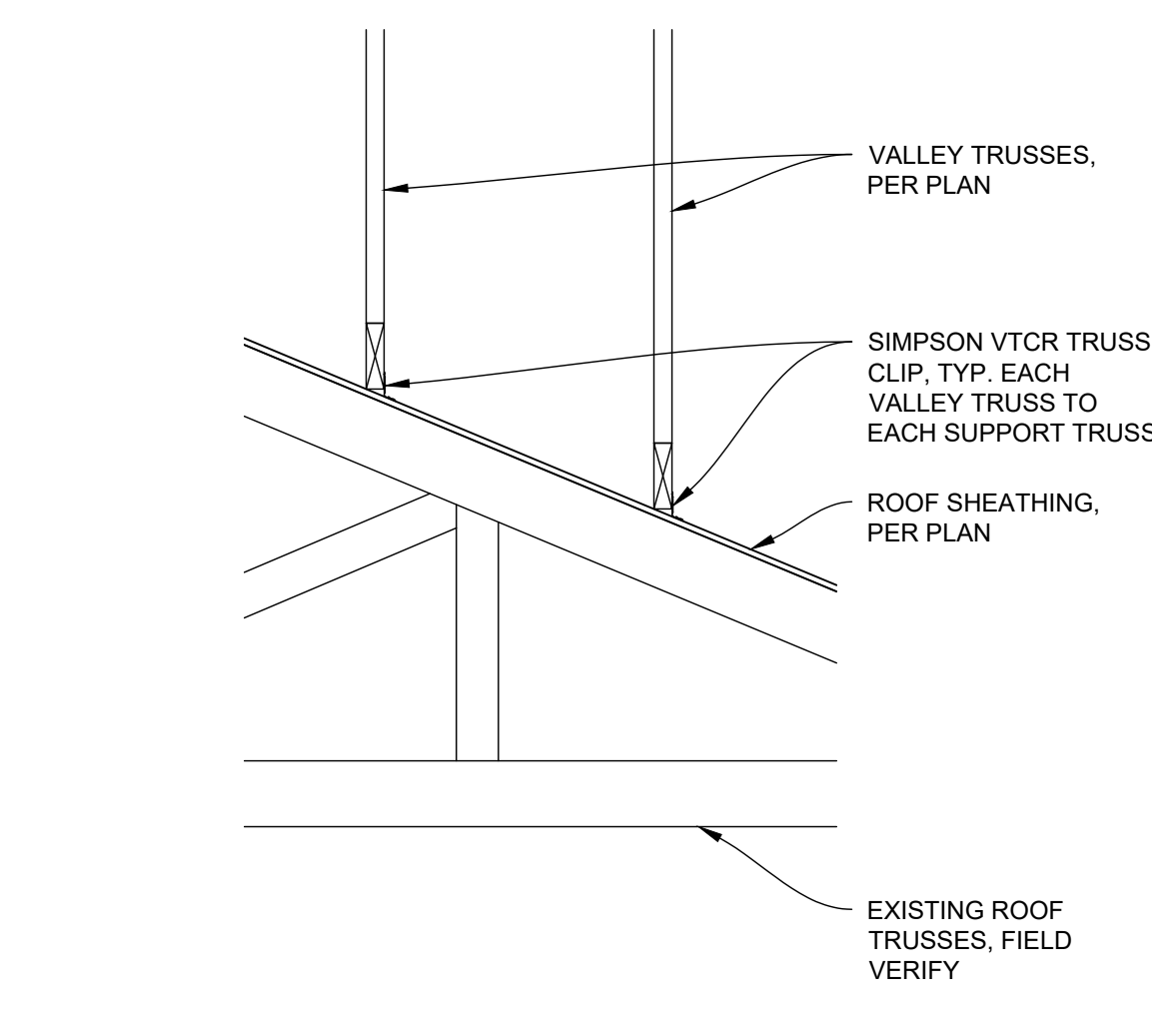
01 ENLARGED PLAN DETAIL AT DECK CONNECTION
SCALE: N/A = 1'-0"



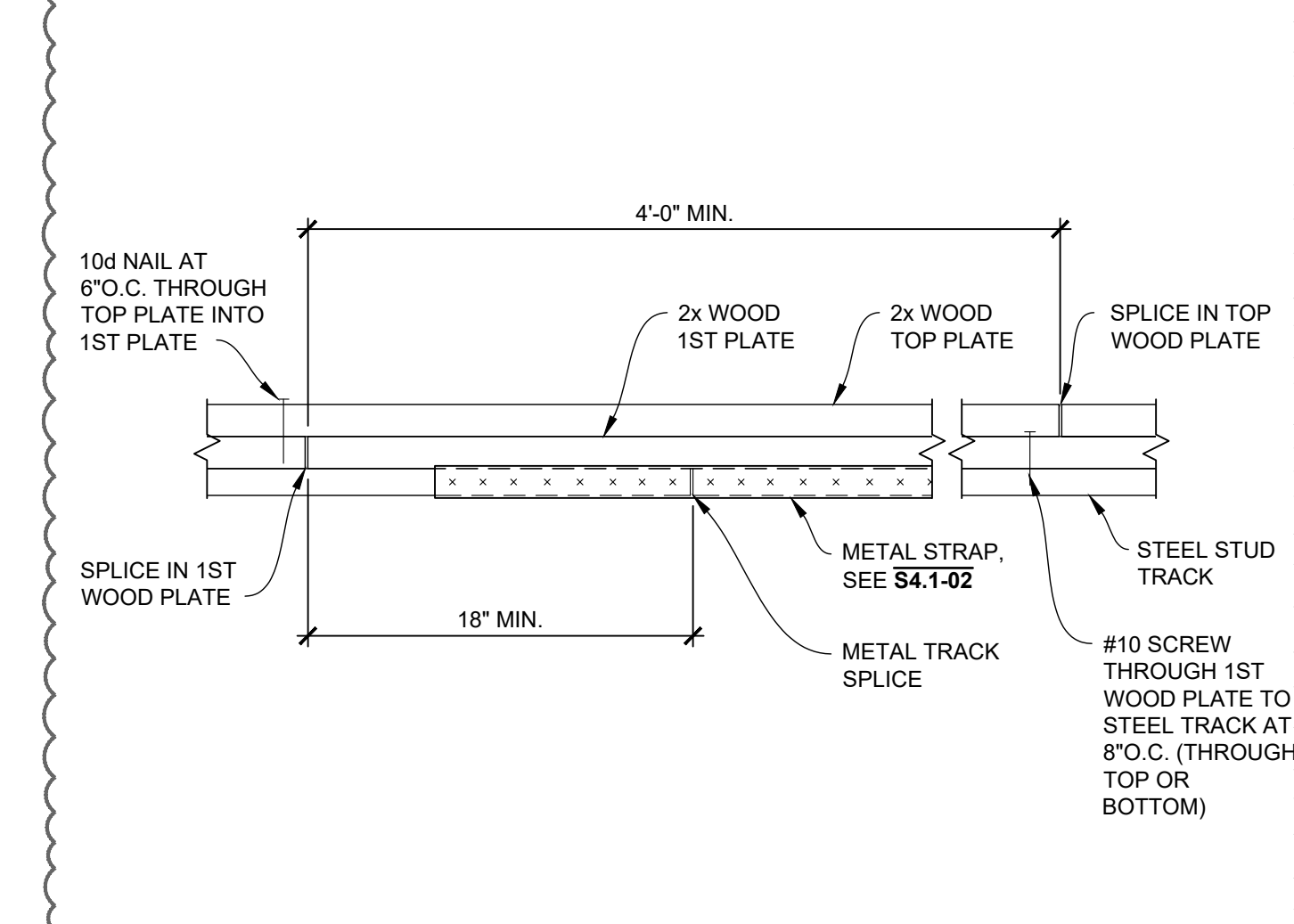
02 SECTION
SCALE: 1 1/2" = 1'-0"



03 DETAIL
SCALE: 1/2" = 1'-0"



04 VALLEY TRUSS CONNECTION DETAIL
SCALE: 3/4" = 1'-0"



05 WALL TOP WOOD STUD PLATE SPLICE
SCALE: N/A

REVISIONS:		
DATE:	NOTE:	
04/07/2025	ADDENDUM 1	
JOB #:	DATE:	
0000	25 MAR 14	
	SHEET #:	

PERRY COUNTY DISTRICT LIBRARY - NEW LEXINGTON

ADDITION & RENOVATION

117 S JACKSON STREET
NEW LEXINGTON, OHIO 43764

APG

ARCHITECTS

26 NORTH THIRD STREET
ZANESVILLE, OHIO 43701
(740) 454-3211
www.APG-Architects.com

LIBRARY DESIGN ASSOCIATES INC.

LIBRARY DESIGN CONSULTANT - OWNER'S CONSULTANT
10046 BREWSTER LANE
POWELL, OHIO 43065
(614) 923-4600

SANDS DECKER CPS / CIVIL ENGINEERING

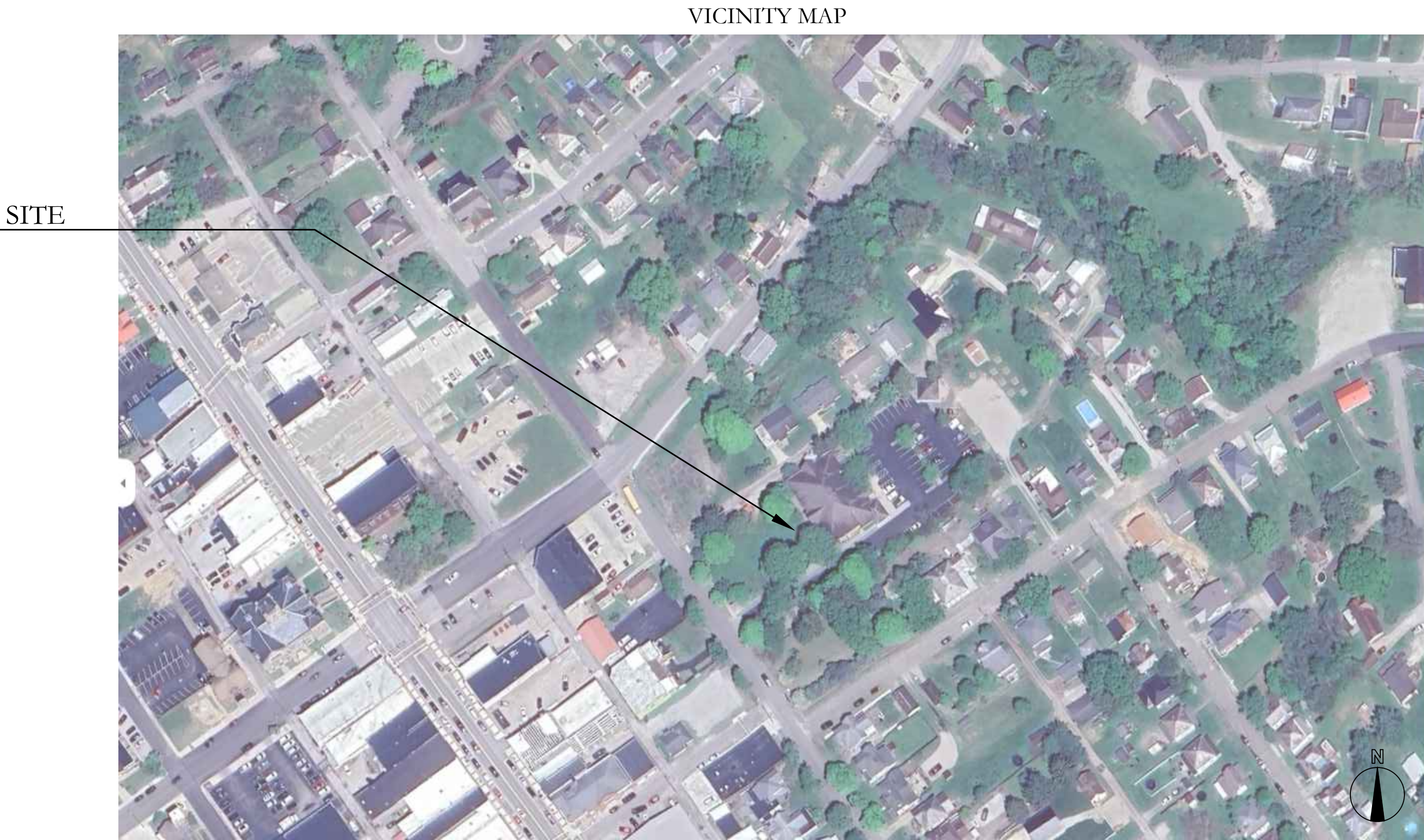
507 MAIN STREET, SUITE 203
ZANESVILLE, OHIO 43701
(740) 450-1641
FAX: (740) 450-1641
www.SANDSDECKER.com


STRUCTURAL ENGINEERING CONSULTANT
DERWACTER & ASSOCIATES, LLC

5275 MILFORD DRIVE
ZANESVILLE, OHIO 43701
(740) 319-1822
FAX: (740) 453-9738

VMP ENGINEERING, INC.

6225 EMERALD PARKWAY
DUBLIN, OHIO 43016
OFFICE: 614-408-3862
FAX: 614-408-3869



14 MARCH 2025				
INDEX OF DRAWINGS				
SHEET	DESCRIPTION	 #X	DATE	REVISION
		#X ##.##.####		XXXX
COVER				
1S-000	PROJECT CODE DATA			
1S-001	GENERAL CODE DATA & DETAILS			
1S-002	GENERAL CODE DATA & DETAILS			
1S-003	GENERAL CODE DATA & DETAILS			
1S-100	LIFE SAFETY FLOOR PLAN			
C-101	GENERAL NOTES & DETAILS			
C-201	EXISTING SITE SURVEY & DEMOLITION PLAN			
C-301	SITE DIMENSION & UTILITY PLAN			
C-401	SITE GRADING & STORM WATER PREVENTION PLAN			
C-402	STORM WATER POLLUTION PREVENTION NOTES & DETAILS & STORM SEWER PROFILE			
S0.1	GENERAL NOTES			
S0.2	GENERAL NOTES			
S1.1	FOUNDATION PLAN			
S2.1	FLOOR FRAMING PLAN	#1	04-07-2025	ADDENDUM 1
S3.1	ROOF FRAMING PLAN			
S4.1	FRAMING DETAILS	#1	04-07-2025	ADDENDUM 1
S5.1	FOUNDATION DETAILS			
S5.2	FOUNDATION DETAILS			
S6.1	STEEL FRAMING DETAILS			
S7.1	ROOF FRAMING DETAILS	#1	04-07-2025	ADDENDUM 1
D-100	DEMOLITION LOWER LEVEL PLAN			
D-101	DEMOLITION UPPER LEVEL PLAN			
D-120	DEMOLITION ROOF PLAN			
D-140	DEMOLITION LOWER LEVEL REFLECTED CEILING PLAN			
D-141	DEMOLITION UPPER LEVEL REFLECTED CEILING PLAN			
D-200	DEMOLITION EXTERIOR ELEVATION			
D-201	DEMOLITION EXTERIOR ELEVATIONS			
A-100	NEW CONSTRUCTION LOWER LEVEL PLAN	#1	04-07-2025	ADDENDUM 1
A-101	ENLARGED LOWER LEVEL FLOOR PLAN			
A-102	NEW CONSTRUCTION UPPER LEVEL PLAN	#1	04-07-2025	ADDENDUM 1
A-103	ENLARGED UPPER LEVEL FLOOR PLAN			
A-104	LOWER LEVEL FINISH FLOOR PLAN	#1	04-07-2025	ADDENDUM 1
A-105	UPPER LEVEL FINISH FLOOR PLAN	#1	04-07-2025	ADDENDUM 1
A-120	NEW CONSTRUCTION ROOF PLAN			
A-140	NEW CONSTRUCTION LOWER LEVEL REFLECTED CEILING PLAN			
A-141	NEW CONSTRUCTION UPPER LEVEL REFLECTED CEILING PLAN			
A-200	NEW CONSTRUCTION EXTERIOR ELEVATIONS	#1	04-07-2025	ADDENDUM 1
A-201	NEW CONSTRUCTION EXTERIOR ELEVATIONS	#1	04-07-2025	ADDENDUM 1
A-220	INTERIOR ELEVATIONS & ENLARGED FLOOR PLANS	#1	04-07-2025	ADDENDUM 1
A-300	BUILDING SECTIONS			
A-320	WALL SECTIONS			
A-321	WALL SECTIONS & DETAILS			
A-400	DOOR & WINDOW SCHEDULES & DETAILS			
A-520	CASEWORK SECTIONS & DETAILS			
PD-100	LOWER LEVEL PLUMBING DEMOLITION PLAN			
PD-101	UPPER LEVEL PLUMBING DEMOLITION PLAN			
P-100	LOWER LEVEL PLUMBING PLAN			
P-101	UPPER LEVEL PLUMBING PLAN			
P-201	PLUMBING DETAILS			
HD-100	LOWER LEVEL HVAC DEMOLITION PLAN			
HD-101	UPPER LEVEL HVAC DEMOLITION PLAN			
H-100	LOWER LEVEL HVAC PLAN			
H-101	UPPER LEVEL HVAC PLAN			
H-200	HVAC DETAILS			
ED-101	LOWER LEVEL ELECTRICAL DEMOLITION PLAN			
ED-102	UPPER LEVEL ELECTRICAL DEMOLITION PLAN			
E-101	LOWER LEVEL LIGHTING PLAN	#1	04-07-2025	ADDENDUM 1
E-102	UPPER LEVEL LIGHTING PLAN			
E-201	LOWER LEVEL POWER PLAN	#1	04-07-2025	ADDENDUM 1
E-202	UPPER LEVEL POWER PLAN	#1	04-07-2025	ADDENDUM 1
E-301	ELECTRICAL DETAILS			
E-302	ELECTRICAL DETAILS			

PCDL
NEW LEXINGTON
ADDITION
RENOVATION






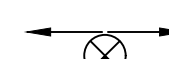
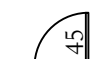

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www.APG-Architects.com

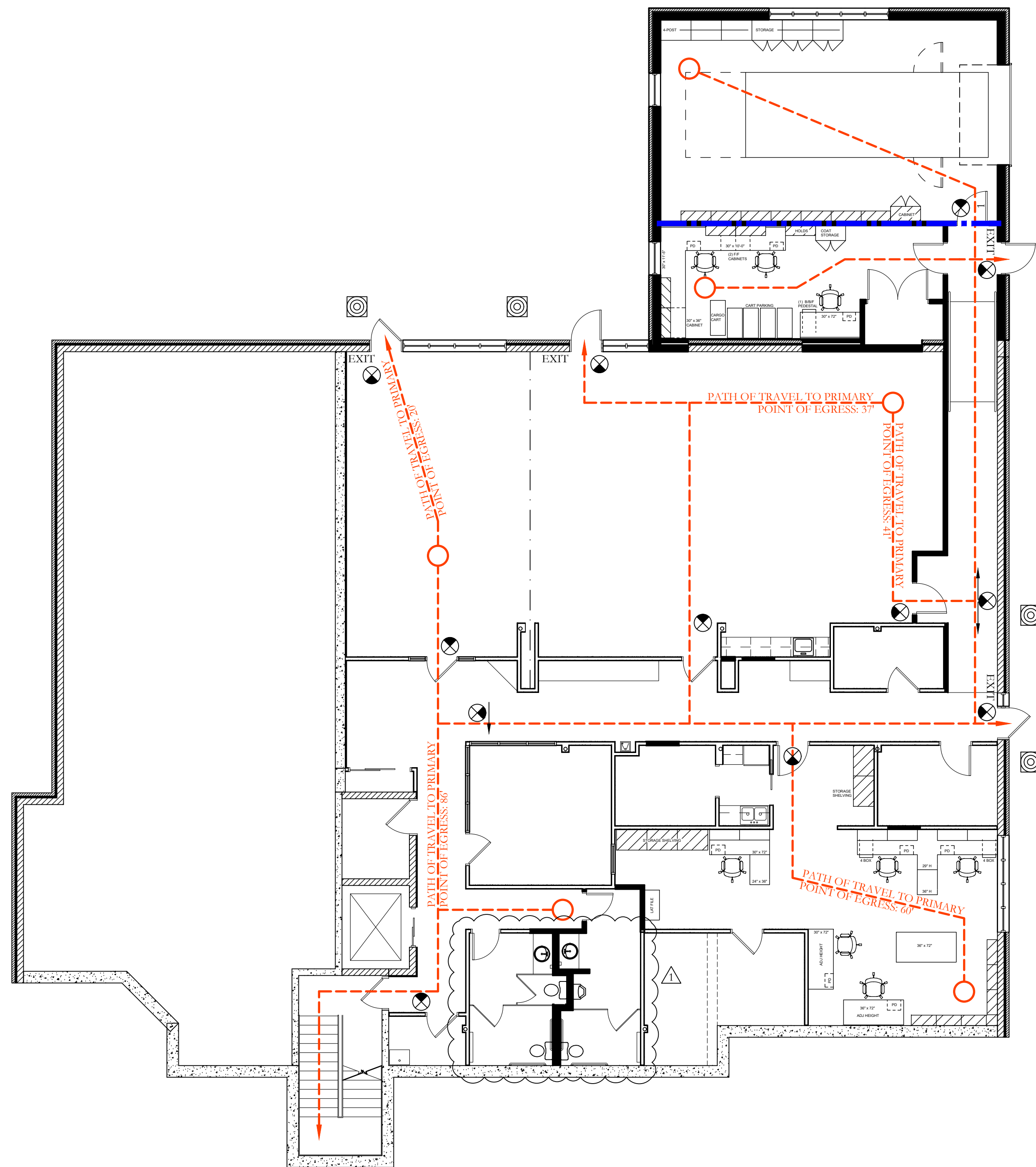
APG
Architects
planning + design

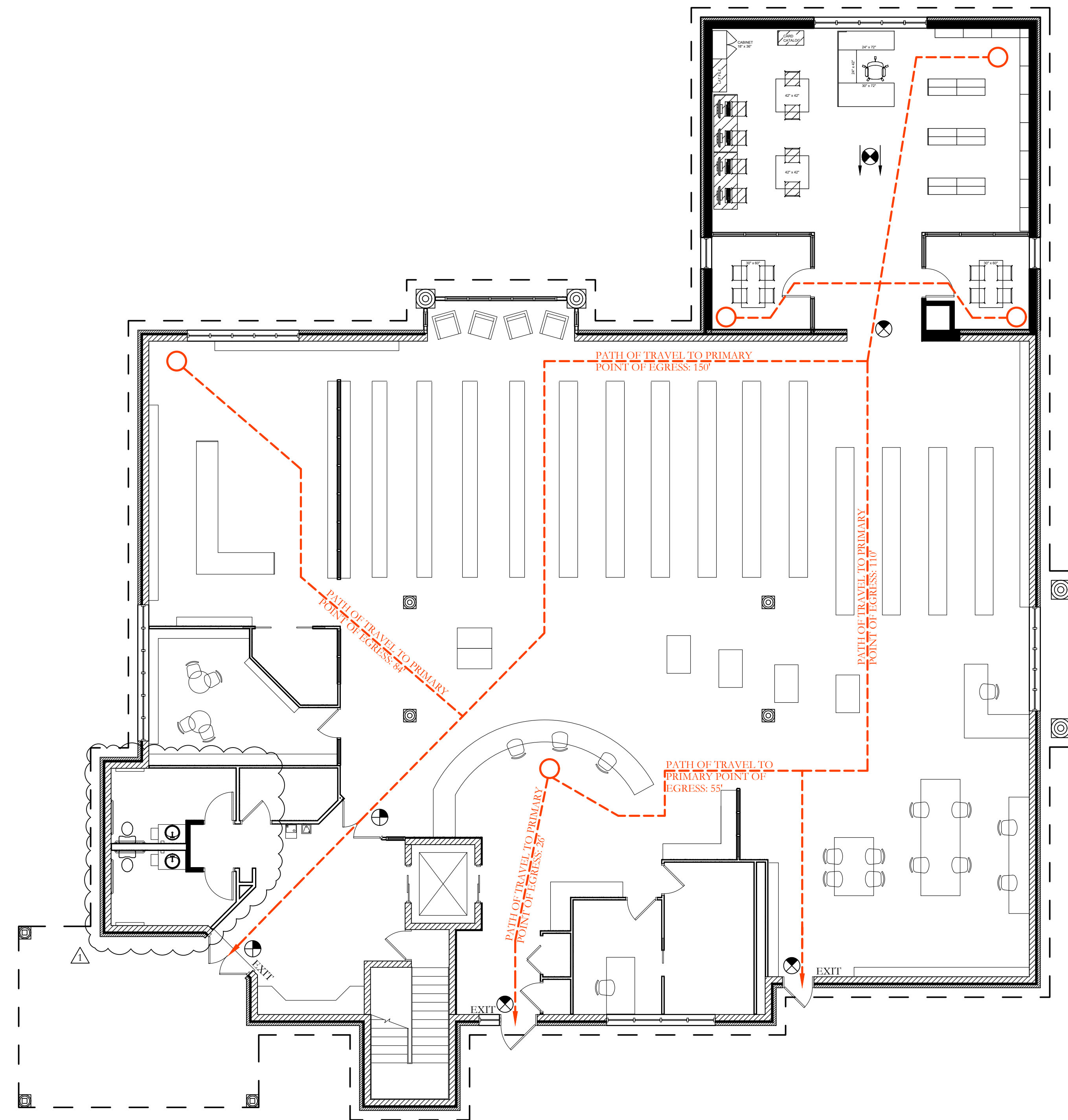
**PRELIMINARY
DRAWING
14 MAR 25
NOT FOR
CONSTRUCTION**

DIVISIONS:	
DATE:	NOTE:
4/7/2025	ADDENDUM 1
B #:	DATE:
438	14 MAR 2025
SHEET #:	

LS-100

<p>PERRY COUNTY DISTRICT LIBRARY GENERAL BUILDING DESCRIPTION</p> <p>1ST FLR. USE GROUP(S): A5, S1</p> <p>CONSTRUCTION TYPE: 3B</p> <p>AREA: 1,194 SF 2-STORIES</p> <p>FIRE SUPPRESSION SYSTEM: N/A</p> <p>FIRE ALARM SYSTEM: YES - REFER TO M.E.P.</p>		<p><u>SYMBOL LEGEND</u></p> <p> 2 HOUR FIRE BARRIER</p> <p> 1 HOUR FIRE BARRIER</p> <p> SMOKE BARRIER</p> <p> EXIT SIGN</p>		<p> DOOR RATING (MIN)</p> <p>EXIT EXIT</p> <p> FIRE EXTINGUISHER CABINET</p>	
<p><u>PLAN NOTES</u></p> <p>1. THIS DOOR TO BE EQUIPPED WITH A MAGNETIC HOLD OPEN DEVICE(S). MAGNETIC HOLD OPEN(S) TO BE CONNECTED TO THE BUILDING FIRE ALARM SYSTEM AND WILL DISENGAGE UPON SYSTEM ACTIVATION</p>		<p><u>GENERAL NOTES</u></p> <p>AT DOORS INDICATED AS "EXIT", A TACTILE SIGN STATING "EXIT" AND COMPLYING WITH I.C.C. A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR</p>			



 $1/8''-1'-0''$ 

1/8"-1'-0"

SYMBOLS

- ===== = EXISTING CONSTRUCTION
===== = NEW PARTITION CONSTRUCTION
- SEE PARTITION SCHEDULE

PARTITION SYMBOLS

- (P)— = INDICATES PARTITION FULL HEIGHT TO STRUCTURE. TERMINATE STUD W/ DEFLECTION TRACK - SEE PARTITION NOTES
—(P)— = INDICATES PARTIAL HEIGHT PARTITION - SEE PARTITION NOTES

PARTITION NOTES

- ALL INTERIOR PARTITIONS ARE TO BE FULL HEIGHT AND BUILT TIGHT TO FLOOR OR ROOF DECK, w/ FIRESTOPPING AS REQUIRED BY THE ASSEMBLY RATING. INFILL MASONRY WALLS AT LOCATIONS SHOWN. INFILL MORTAR JOINTS ARE TO BE ALIGNED WITH EXISTING MORTAR JOINTS. - SEE TYPICAL PARTITION TYPE BELOW.
- COORDINATE BLOCKING REQUIREMENTS FOR HARDWARE, TOILET ACCESSORIES, CASEWORK, ETC.
- PARTITION TYPES ON STRAIGHT RUNS OF WALL SHALL NOT CHANGE UNTIL DESIGNATED BY A DIFFERENT PARTITION TYPE INDICATOR. CHANGE IN PARTITION TYPE TO OCCUR AT INTERSECTIONS OR CORNERS.
- PARTITION SHALL HAVE FLUSH PLANE ON INTERIOR OF ALL ROOMS. WHERE PARTITION THICKNESS VARIES TRANSITION @ CORNERS/INTERSECTIONS.
- INSTALL MOISTURE RESISTANT TYPE "X" GYPSUM BOARD IN ALL WET AREAS I.E. SHOWERS, BATHROOMS, JANITORIAL CLOSETS, HVAC CLOSETS, SINK AREAS.

TYPICAL PARTITIONS

TYPE	RATING	FIRE TEST	CONSTRUCTION	WIDTH
1	---	---	ONE LAYER 5/8" GYPSUM WALLBOARD EACH SIDE OF 3/5/8" METAL STUDS AT 16" O.C. W/ SOUND ATTENUATION INSULATION	4 7/8"
1.A	1 HR	UL U419	ONE LAYER 5/8" GYPSUM WALLBOARD EACH SIDE OF 3/5/8" METAL STUDS AT 16" O.C. W/ SOUND ATTENUATION INSULATION	4 7/8"
2	---	---	ONE LAYER 5/8" GYPSUM WALLBOARD EACH SIDE OF 6" METAL STUDS AT 16" O.C. W/ SOUND ATTENUATION INSULATION	7 1/4"
3	---	---	ONE LAYER 5/8" GYPSUM WALLBOARD EACH SIDE OF 8" METAL STUDS AT 16" O.C. W/ SOUND ATTENUATION INSULATION	9 1/4"
4	---	---	ONE LAYER 5/8" GYPSUM WALLBOARD ONE SIDE OF 3/5/8" METAL STUDS AT 16" O.C.	4 3/8"

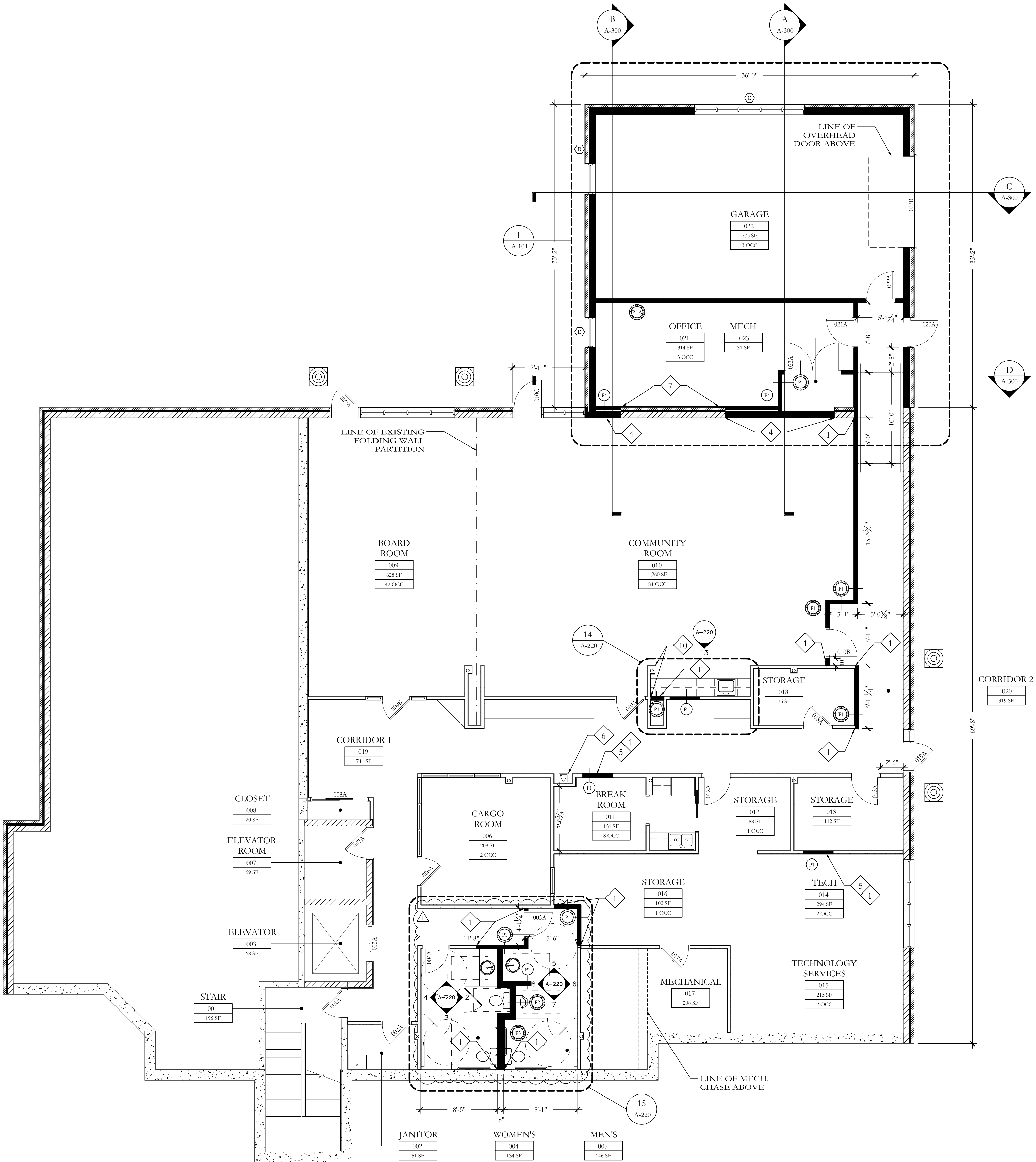
GENERAL NOTES

- DO NOT SCALE DRAWINGS IN ORDER TO DETERMINE ANY DIMENSIONS. IF A DIMENSION IS NOT INDICATED, CONTACT THE ARCHITECT FOR VERIFICATION.
- DIMENSIONS ARE TO THE CENTERLINE OF SUPPORTING COLUMNS AND TO THE FACE OF MASONRY OR STUDS, UNLESS NOTED OTHERWISE.
- WHERE REQUIRED, PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING OR METAL BLOCKING IN WALLS FOR MOUNTING EQUIPMENT OR ACCESSORIES AS INDICATED ON THE FLOOR PLANS.
- CONTRACTOR TO VISIT JOB SITE. FIELD VERIFY ALL EXISTING CONDITIONS. BIDS WILL INCLUDE ALL COSTS REQUIRED TO EXECUTE THE WORK, SHOWN OR IMPLIED FROM DRAWINGS, UNDER THE EXISTING CONDITIONS.

CODED PLAN NOTES

BE AWARE THAT THE FOLLOWING CODED NOTES ARE SHOWN ON ALL A-100 SERIES SHEETS - NOT ALL NOTES OCCUR ON EVERY SHEET

- ENSURE FLUSH & SMOOTH TRANSITION BETWEEN NEW GYPSUM BOARD AND EXISTING WALL FINISH MATERIAL
- NEW RAMP. SEE DETAILS E/A-321 & F/A-321 - REFER TO STRUCTURAL DRAWINGS
- INSTALL NEW HANDRAIL. SEE DETAILS E/A-321 & F/A-321
- INFILL WINDOW OPENING WITH 1" CMU BLOCK & ALIGN NEW MORTAR JOINTS W/ EXISTING, PREF BLOCK TO RECEIVE PAINT. COLOR TO BE SELECTED BY OWNER
- INFILL EXISTING DOOR OPENING. ENSURE GYPSUM BOARD IS FLUSH & SMOOTH ON ALL SIDES W/ ADJACENT EXISTING FINISH WALL SURFACE.
- EXISTING DRINKING FOUNTAIN. REFER TO MEP DRAWINGS
- INSTALL (1) LAYER OF 5/8" TYPE "X" GYPSUM BOARD ON 2" HAT CHANNEL INSTALLED OVER EXISTING BRCK. ADHERE GYPSUM BOARD PER MANUFACTURER RECOMMENDATIONS
- FURNITURE AND STACKS TO BE PROVIDED AND INSTALLED BY OWNERS VENDOR (JDA)
- MOBILE LIBRARY VAN (BOOKMOBILE) - SEE DETAIL SHEET A-400
- INSTALL (1) LAYER OF 5/8" TYPE "X" GYPSUM BOARD & PAINT. IF GYP EXISTS, REPAIR AND REPAINT. COLOR TO BE SELECTED BY OWNER.



NEW CONSTRUCTION LOWER LEVEL FLOOR PLAN

3/16\"=1'-0"



PCDL
NEW LEXINGTON
ADDITION
RENOVATION

PRELIMINARY
DRAWING

14 MAR 25

NOT FOR
CONSTRUCTION

NEW CONSTRUCTION
LOWER LEVEL
FLOOR PLAN

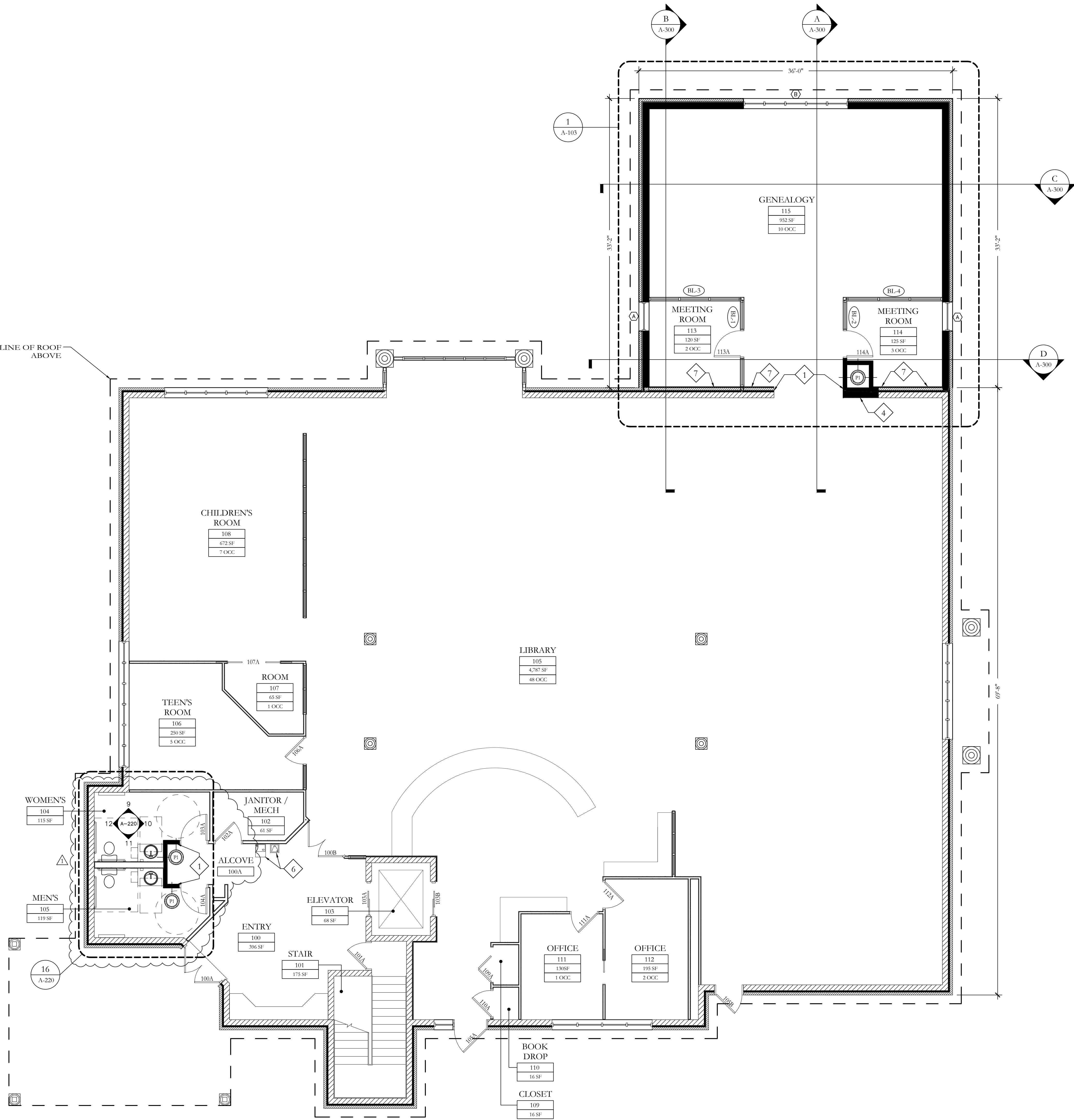
REVISIONS:

DATE: 4/7/2025
NOTE: ADDENDUM 1

JOB #: 2438
DATE: 14 MAR 2025

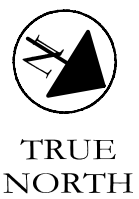
SHEET #:

A-100



NEW CONSTRUCTION UPPER LEVEL FLOOR PLAN

3/16"=1'-0"



SYMBOLS

- = EXISTING CONSTRUCTION
- = NEW PARTITION CONSTRUCTION - SEE PARTITION SCHEDULE

PARTITION SYMBOLS

- = INDICATES PARTITION FULL HEIGHT TO STRUCTURE, TERMINATE STUD W/ DEFLECTION TRACK - SEE PARTITION NOTES
- = INDICATES PARTIAL HEIGHT PARTITION - SEE PARTITION NOTES

PARTITION NOTES

- ALL INTERIOR PARTITIONS ARE TO BE FULL HEIGHT AND BUILT TIGHT TO FLOOR OR ROOF DECK, w/ FIRESTOPPING AS REQUIRED BY THE ASSEMBLY RATING. INFILL MASONRY WALLS AT LOCATIONS SHOWN. INFILL MORTAR JOINTS ARE TO BE ALIGNED WITH EXISTING MORTAR JOINTS - SEE TYPICAL PARTITION TYPE BELOW.
- COORDINATE BLOCKING REQUIREMENTS FOR HARDWARE, TOILET ACCESSORIES, CASEWORK, ETC.
- PARTITION TYPES ON STRAIGHT RUNS OF WALL SHALL NOT CHANGE UNTIL DESIGNATED BY A DIFFERENT PARTITION TYPE INDICATOR. CHANGE IN PARTITION TYPE TO OCCUR AT INTERSECTIONS OR CORNERS.
- PARTITION SHALL HAVE FLUSH PLANE ON INTERIOR OF ALL ROOMS. WHERE PARTITION THICKNESS VARIES TRANSITION @ CORNERS/INTERSECTIONS.
- INSTALL MOISTURE RESISTANT TYPE "X" GYPSUM BOARD IN ALL WET AREAS I.E. SHOWERS, BATHROOMS, JANITORIAL CLOSETS, HVAC CLOSETS, SINK AREAS.

TYPICAL PARTITIONS

TYPE	RATING	FIRE TEST	CONSTRUCTION	WIDTH
1	---	---	ONE LAYER 5/8" GYPSUM WALLBOARD EACH SIDE OF 3 5/8" METAL STUDS AT 16" O.C. W/ SOUND ATTENUATION INSULATION	4 7/8"
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3	---	---	ONE LAYER 5/8" GYPSUM WALLBOARD EACH SIDE OF 8" METAL STUDS AT 16" O.C. W/ SOUND ATTENUATION INSULATION	9 1/4"
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BE AWARE THAT THE FOLLOWING CODED NOTES ARE SHOWN ON ALL A-100 SERIES SHEETS - NOT ALL NOTES OCCUR ON EVERY SHEET

- ENSURE FLUSH & SMOOTH TRANSITION BETWEEN NEW GYPSUM BOARD AND EXISTING WALL FINISH MATERIAL.
- NEW RAMP. SEE DETAILS E/A-321 & F/A-321 - REFER TO STRUCTURAL DRAWINGS
- INSTALL NEW HANDRAIL. SEE DETAILS E/A-321 & F/A-321
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- INFILL EXISTING DOOR OPENING. ENSURE GYPSUM BOARD IS FLUSH & SMOOTH ON ALL SIDES W/ ADJACENT EXISTING FINISH WALL SURFACE.
- EXISTING DRINKING FOUNTAIN. REFER TO MEP DRAWINGS
- INSTALL (1) LAYER OF 5/8" TYPE "X" GYPSUM BOARD ON 3" HAT CHANNEL. INSTALLED OVER EXISTING BRICK. ADHERE GYPSUM BOARD PER MANUFACTURER RECOMMENDATIONS
- FURNITURE AND STACKS TO BE PROVIDED AND INSTALLED BY OWNERS VENDOR (LDA)
- MOBILE LIBRARY VAN (BOOKMOBILE) - SEE DETAIL SHEET A-400
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REVISIONS:

DATE: 4/7/2025
NOTE: ADDENDUM 1

JOB #: 2438
DATE: 14 MAR 2025
SHEET #:

SYMBOLS

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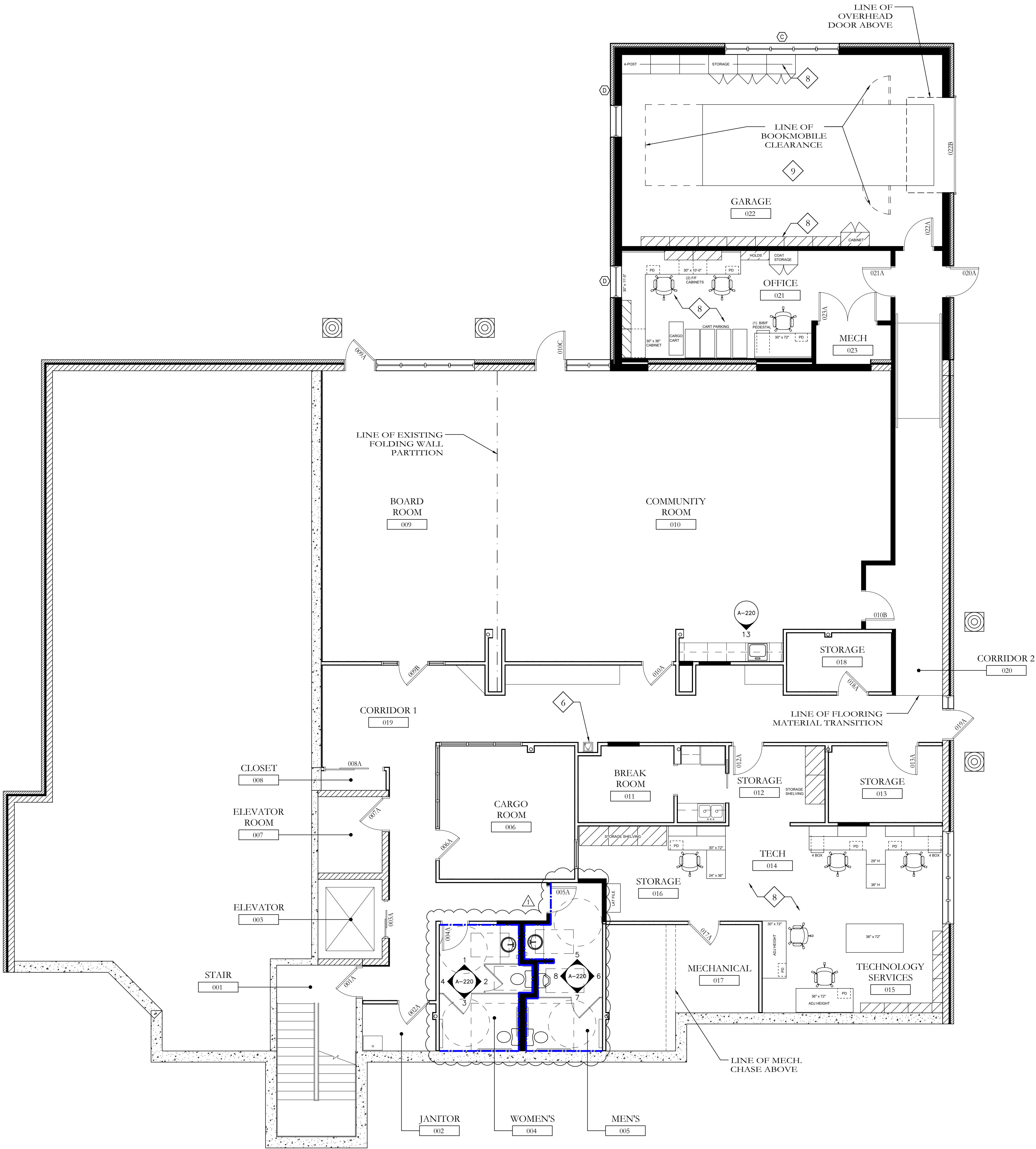
PCDL
NEW LEXINGTON
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PRELIMINARY
DRAWING

14 MAR 25

NOT FOR
CONSTRUCTION

LOWER LEVEL
FINISH FLOOR
PLAN



ROOM FINISH SCHEDULE				ALL FINISH DIRECTIONS FROM PLAN ORIENTATION				
ROOM NUMBER	ROOM	FLOOR	BASE	WALLS				REMARKS
				NORTH	EAST	SOUTH	WEST	
001	STAIR							NO WORK THIS ROOM
002	JANITOR CLOSET							NO WORK THIS ROOM
003	ELEVATOR		B2					NO WORK THIS ROOM
004	WOMEN'S RESTROOM	F3	B2	W1/W2	W1/W2	W1	W1/W2	REFER TO INTERIOR ELEVATIONS. CERAMIC WALL & FLOOR TILE & GROUT INSTALLATION BY OWNERS VENDOR (LDA)
005	MEN'S RESTROOM	F3	B2	W1	W1/W2	W1/W2	W1/W2	REFER TO INTERIOR ELEVATIONS. CERAMIC WALL & FLOOR TILE & GROUT INSTALLATION BY OWNERS VENDOR (LDA)
006	CARGO ROOM							NO WORK THIS ROOM
007	ELEVATOR ROOM							NO WORK THIS ROOM
008	CLOSET							NO WORK THIS ROOM
009	BOARD ROOM	F2	B1	W1	W1	W1	W1	CONTRACTOR TO INSTALL & PREP DRYWALL & PAINT. CARPET IN THIS ROOM TO REMAIN & BE PROTECTED.
010	COMMUNITY ROOM	F2	B1	W1	W1	W1	W1	CONTRACTOR TO INSTALL & PREP DRYWALL & PAINT. CARPET IN THIS ROOM TO REMAIN & BE PROTECTED.
011	BREAK ROOM		B1				W1	CONTRACTOR TO INSTALL & PREP DRYWALL FOR PAINT - OWNER WILL SELF PERFORM PAINTING & VINYL BASE. NO OTHER WORK
012	STORAGE							NO WORK THIS ROOM.
013	STORAGE		B1		W1			CONTRACTOR TO INSTALL & PREP DRYWALL FOR PAINT - OWNER WILL SELF PERFORM PAINTING & VINYL BASE. NO OTHER WORK
014	TECH		B1				W1	CONTRACTOR TO INSTALL & PREP DRYWALL FOR PAINT - OWNER WILL SELF PERFORM PAINTING & VINYL BASE. NO OTHER WORK
015	TECHNOLOGY SERVICES							NO WORK THIS ROOM
016	STORAGE		B1			W1		CONTRACTOR TO INSTALL & PREP DRYWALL FOR PAINT - OWNER WILL SELF PERFORM PAINTING & VINYL BASE. NO OTHER WORK
017	MECHANICAL ROOM							NO WORK THIS ROOM
018	STORAGE		B1	W1		W1	W1	CONTRACTOR TO PAINT NORTH WALL CORNER TO CORNER THIS ROOM. OWNER WILL PROVIDE & INSTALL VINYL BASE
019	CORRIDOR 1	F2	B1	W1	W1	W1	W1	OWNER'S VENDOR (LDA) TO MAKE ALL MODIFICATIONS TO FLOORING & WALL BASE. CONTRACTOR TO PREP & PAINT ALL CORRIDOR WALL SURFACE
020	CORRIDOR 2	F4	B1	W1	W1	W1	W1	CONTRACTOR TO PREP & PAINT ALL CORRIDOR WALL SURFACE - OWNERS VENDOR (LDA) WILL PROVIDE & INSTALL FLOORING & WALL BASE
021	OFFICE	F2	B1	W1	W1	W1	W1	CONTRACTOR TO PREP & PAINT ENTIRE AREA - OWNERS VENDOR (LDA) WILL PROVIDE & INSTALL FLOORING & WALL BASE
022	GARAGE	F5	B1	W1	W1	W1	W1	CONTRACTOR TO PREP & PAINT ENTIRE AREA & CONCRETE SEAL ENTIRE FLOOR. OWNERS VENDOR (LDA) TO INSTALL WALL BASE
023	MECHANICAL ROOM	F5	B1	W1	W1	W1	W1	CONTRACTOR TO PREP & PAINT ENTIRE AREA & CONCRETE SEAL ENTIRE FLOOR. OWNERS VENDOR (LDA) TO INSTALL WALL BASE

FINISH SCHEDULE NOTE

FINISH MATERIAL LEGEND WITH SPECIFIC PRODUCTS AND MANUFACTURERS WILL BE DEVELOPED BY OWNER'S VENDOR (LDA) AT A LATER DATE. OWNER'S VENDOR WILL PROVIDE ALL FLOORING, WALL BASE, CERAMIC TILE, AND INSTALLATION. THIS CONTRACTOR WILL PROVIDE ALL PAINTING AS IDENTIFIED - CONTRACTOR TO ALLOW FOR MAXIMUM OF FOUR DIFFERENT PAINT COLORS TO BE USED THROUGHOUT THE PROJECT AREA.

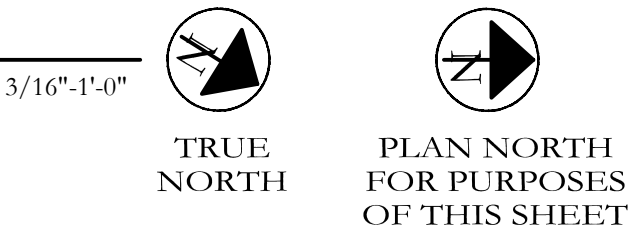
WALL FINISH NOTE:

- GRAPHIC INDICATES LOCATION OF CERAMIC WALL TILE. WALL TILE TO BE INSTALLED AT A HEIGHT OF 7'-2" U.O.
- GRAPHIC INDICATES LOCATION OF WALL PAINT FOR ALTERNATE G-2. PAINT TO BE SELECTED BY OWNER IF ALTERNATE IS ACCEPTED.

FINISH MATERIAL LEGEND

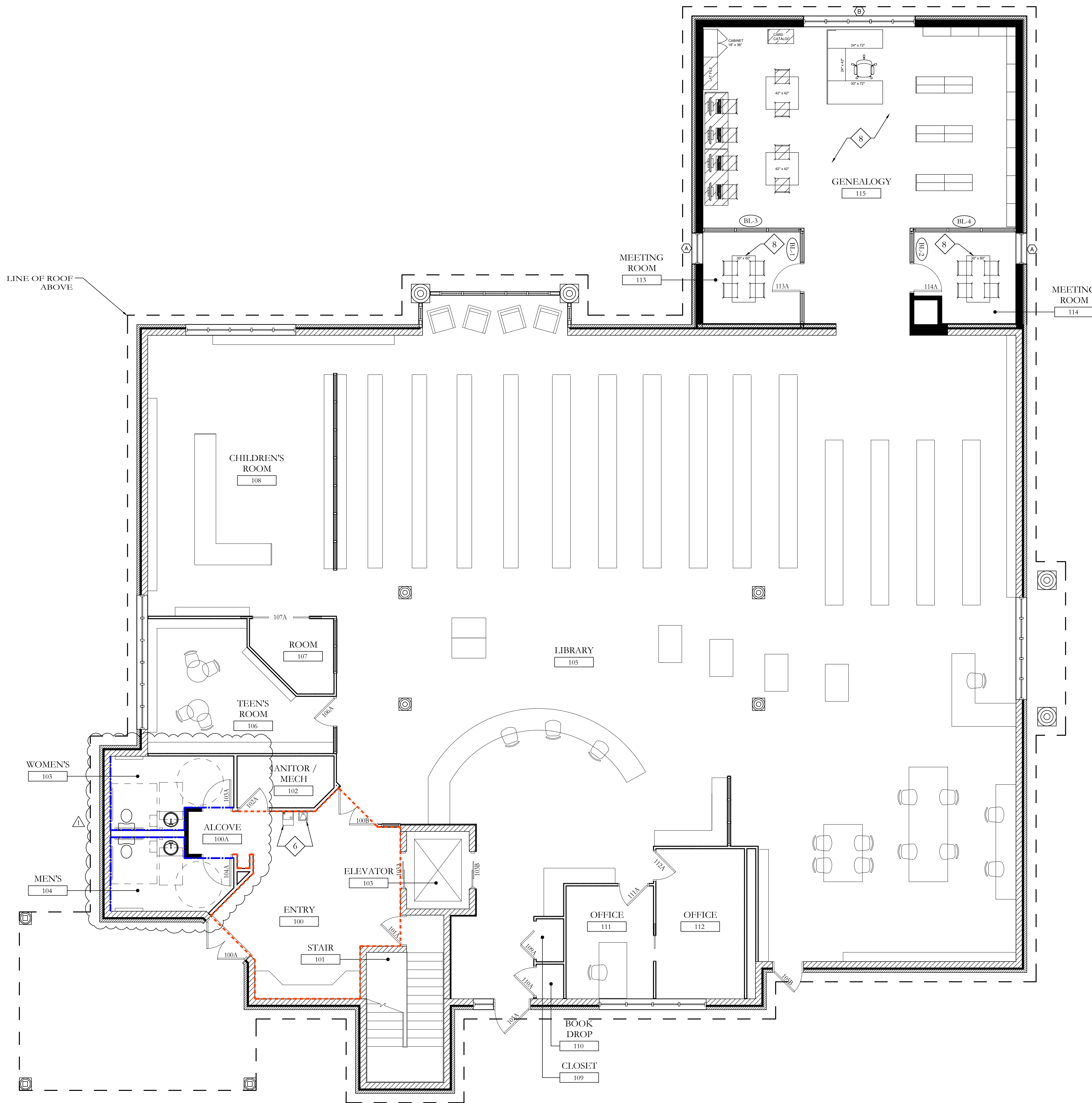
CODE	MATERIAL	DESCRIPTION
F1	LUXURY VINYL PLANK	
F2	CARPET TILE	
F3	CERAMIC TILE	
F4	WALK OFF CARPET	
F5	CONCRETE SEALED	
B1	VINYL BASE	4" VINYL COVE BASE - MATCH EXISTING FINISH
B2	CERAMIC TILE BASE	4" COVE BASE; MATCH WALL TILE
W1	PAINT	COLOR TBD
W2	CERAMIC WALL TILE	

LOWER LEVEL FINISH FLOOR PLAN



REVISIONS:		
DATE:	DATE:	NOTE:
1	4/7/2025	ADDENDUM 1

JOB #:	DATE:
2438	14 MAR 2025
SHEET #:	



UPPER LEVEL FINISH FLOOR PLAN

3/16"=1'-0"



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- NEW RAMP. SEE DETAILS E/A-321 & F/A-321 - REFER TO STRUCTURAL DRAWINGS
- INSTALL NEW HANDRAIL. SEE DETAILS E/A-321 & F/A-321
- INFILL WINDOW OPENING WITH 8" CMU BLOCK & ALIGN NEW MORTAR JOINTS W/ EXISTING, PREP BLOCK TO RECEIVE PAINT. COLOR TO BE SELECTED BY OWNER
- INFILL EXISTING DOOR OPENING. ENSURE GYPSUM BOARD IS FLUSH & SMOOTH ON ALL SIDES W/ ADJACENT EXISTING FINISH WALL SURFACE.
- EXISTING DRINKING FOUNTAIN. REFER TO MEP DRAWINGS
- INSTALL (3) LAYER OF 5/8" TYPE "X" GYPSUM BOARD ON 3" HAT CHANNEL. INSTALLED OVER EXISTING BRICK. ADHERE GYPSUM BOARD PER MANUFACTURER RECOMMENDATIONS
- FURNITURE AND STACKS TO BE PROVIDED AND INSTALLED BY OWNER'S VENDOR (LDA)
- MOBILE LIBRARY VAN (BOOKMOBILE) - SEE DETAIL SHEET A-400
- INSTALL (3) LAYER OF 5/8" TYPE "X" GYPSUM BOARD & PAINT. IF GYP EXISTS, REPAIR AND REPAINT. COLOR TO BE SELECTED BY OWNER.

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM	FLOOR	BASE	ALL FINISH DIRECTIONS FROM PLAN ORIENTATION				REMARKS
				NORTH	EAST	SOUTH	WEST	
100	ENTRY	F4	B1					ALTERNATE GC-1: REMOVE EXISTING CERAMIC FLOOR TILE & WALL BASE. ROUGH PREP TO RECEIVE NEW FLOORING - OWNER'S VENDOR (LDA) WILL PROVIDE & INSTALL NEW FLOOR & WALL BASE. ALTERNATE GC-2: REMOVE ALL WALL COVERINGS. PREP WALLS & PAINT. REMOVE, PROTECT, & REINSTALL DISPLAY CASES. SEE WALL FINISH NOTE.
100A	ALCOVE	F3	B2		W1	W1	W1	ALTERNATE GC-1: REMOVE EXISTING CERAMIC FLOOR TILE & WALL BASE. ROUGH PREP TO RECEIVE NEW FLOORING - OWNER'S VENDOR (LDA) WILL PROVIDE & INSTALL NEW FLOOR & WALL BASE. ALTERNATE GC-2: REMOVE ALL WALL COVERINGS. PREP WALLS & PAINT. REMOVE, PROTECT, & REINSTALL DISPLAY CASES. SEE WALL FINISH NOTE.
101	STAIR							ALTERNATE GC-1: REMOVE EXISTING CERAMIC FLOOR TILE & WALL BASE. ROUGH PREP TO RECEIVE NEW FLOORING - OWNER'S VENDOR (LDA) WILL PROVIDE & INSTALL NEW FLOOR & WALL BASE.
102	JANITOR/MECHANICAL							NO WORK THIS ROOM
103	WOMEN'S RESTROOM	F3	B2	W1	W1/W2	W1/W2	W1/W2	REFER TO WALL FINISH NOTE. CONTRACTOR TO REMOVE ALL EXISTING CERAMIC FLOOR & WALL TILE. ROUGH PREP ALL SURFACES TO RECEIVE NEW TILE.
104	MEN'S RESTROOM	F3	B2	W1/W2	W1	W1/W2	W1/W2	REFER TO WALL FINISH NOTE. CONTRACTOR TO REMOVE ALL EXISTING CERAMIC FLOOR & WALL TILE. ROUGH PREP ALL SURFACES TO RECEIVE NEW TILE.
105	LIBRARY						W1	CONTRACTOR TO PREP & PAINT WALL SURFACE FROM NORTHWEST CORNER TO CORNER OF BAY WINDOW
106	TEEN ROOM							NO WORK THIS ROOM
107	LIBRARIAN'S ROOM							NO WORK THIS ROOM
108	CHILDREN'S ROOM							NO WORK THIS ROOM
109	CLOSET							NO WORK THIS ROOM
110	BOOK DROP							NO WORK THIS ROOM
111	OFFICE							NO WORK THIS ROOM
112	OFFICE							NO WORK THIS ROOM
113	MEETING ROOM	F2	B1	W1/ GLASS	W1	W1	W1/ GLASS	CONTRACTOR TO PREP & PAINT ALL WALL SURFACES. OWNER'S VENDOR (LDA) TO INSTALL FLOOR & WALL BASE.
114	MEETING ROOM	F2	B1	W1	W1	W1/ GLASS	W1/ GLASS	CONTRACTOR TO PREP & PAINT ALL WALL SURFACES. OWNER'S VENDOR (LDA) TO INSTALL FLOOR & WALL BASE.
115	GENEALOGY ROOM	F2	B1	W1/ GLASS	W1/ GLASS	W1/ GLASS	W1	CONTRACTOR TO PREP & PAINT ALL WALL SURFACES. OWNER'S VENDOR (LDA) TO INSTALL FLOOR & WALL BASE.

FINISH SCHEDULE NOTE

FINISH MATERIAL LEGEND WITH SPECIFIC PRODUCTS AND MANUFACTURERS WILL BE DEVELOPED BY OWNER'S VENDOR (LDA) AT A LATER DATE. OWNER'S VENDOR WILL PROVIDE ALL FLOORING, WALL BASE, CERAMIC TILE, AND INSTALLATION. THIS CONTRACTOR WILL PROVIDE ALL PAINTING AS IDENTIFIED - CONTRACTOR TO ALLOW FOR MAXIMUM OF FOUR DIFFERENT PAINT COLORS TO BE USED THROUGHOUT THE PROJECT AREA.

WALL FINISH NOTE:

- GRAPHIC INDICATES LOCATION OF CERAMIC WALL TILE. WALL TILE TO BE INSTALLED AT A HEIGHT OF 7'-2" U.N.O.
- GRAPHIC INDICATES LOCATION OF WALL PAINT FOR ALTERNATE GC-2. PAINT TO BE SELECTED BY OWNER IF ALTERNATE IS ACCEPTED.

FINISH MATERIAL LEGEND

CODE	MATERIAL	DESCRIPTION
F1	LUXURY VINYL PLANK	
F2	CARPET TILE	
F3	CERAMIC TILE	
F4	WALK OFF CARPET	
F5	CONCRETE SEALED	
B1	VINYL BASE	4" VINYL COVE BASE - MATCH EXISTING FINISH
B2	CERAMIC TILE BASE	4" COVE BASE; MATCH WALL TILE
W1	PAINT	
W2	CERAMIC WALL TILE	

APG

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www.APG-Architects.com

PCDL
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REVISIONS:
1 04/07/2025 ADDENDUM 1

JOB #: 2438 DATE: 14 MAR 2025
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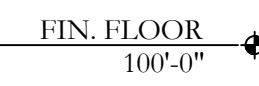
A-105

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1/4"-1'-0"



1/4"-1'-0"

NEW CONSTRUCTION EXTERIOR ELEVATIONS

A-200

REVISIONS:		
#	DATE:	NOTE:
1	4/7/2025	ADDENDUM 1
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2438	14 MAR 2025	
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EXTERIOR ELEVATION CODED NOTES

- 1

NEW ROOF TILES TO MATCH EXISTING (LUDOWICI AMERICANA 14").
- 2

NEW EDGE TERMINATION, SEE SHEET A-321 FOR DETAILS.
- 3

NEW PREFINISHED ALUMINUM GUTTER - MATCH EXISTING SIZE AND PROFILE. ORIGINAL DRAWINGS IDENTIFY EXISTING AS 6"x4.75" PREFINISHED WITH HANGERS AT 3' O.C. CONTRACTOR TO FIELD VERIFY & MATCH.
- 4

NEW PREFINISHED ALUMINUM DOWNSPOUT - MATCH EXISTING SIZE AND PROFILE. ORIGINAL DRAWINGS IDENTIFY EXISTING AS 4"x3" PREFINISHED. CONTRACTOR TO FIELD VERIFY & MATCH.
- 5

PD41 HALF ROUND PAD-STYLE SNOW GUARDS - TYPICAL AT ALL ENTRANCES / EXITS. INSTALL PER MANUFACTURER RECOMMENDATIONS. COLOR TO MATCH ROOF TILE.
- 6

4" FACE BRICK & MORTAR TO MATCH EXISTING. ALIGN NEW MORTAR JOINTS WITH EXISTING MORTAR JOINTS.
- 7

SOLDIER BRICK COURSE TO MATCH EXISTING. ALIGN NEW MORTAR JOINTS WITH EXISTING MORTAR JOINTS. ACCENT BRICK AT CORNERS OF BUILDING & JAMB OPENINGS TO BE TURNED TO MATCH EXISTING.
- 8

1 SOLDIER COURSE AT OVERHEAD DOOR W/ ACCENT BRICK
- 9

ROWLOCK WINDOW SILL - REFER TO DETAIL B/A-321
- 10

NEW MORTAR COLOR TO MATCH EXISTING MORTAR COLOR - SUBMIT SAMPLES.
- 11

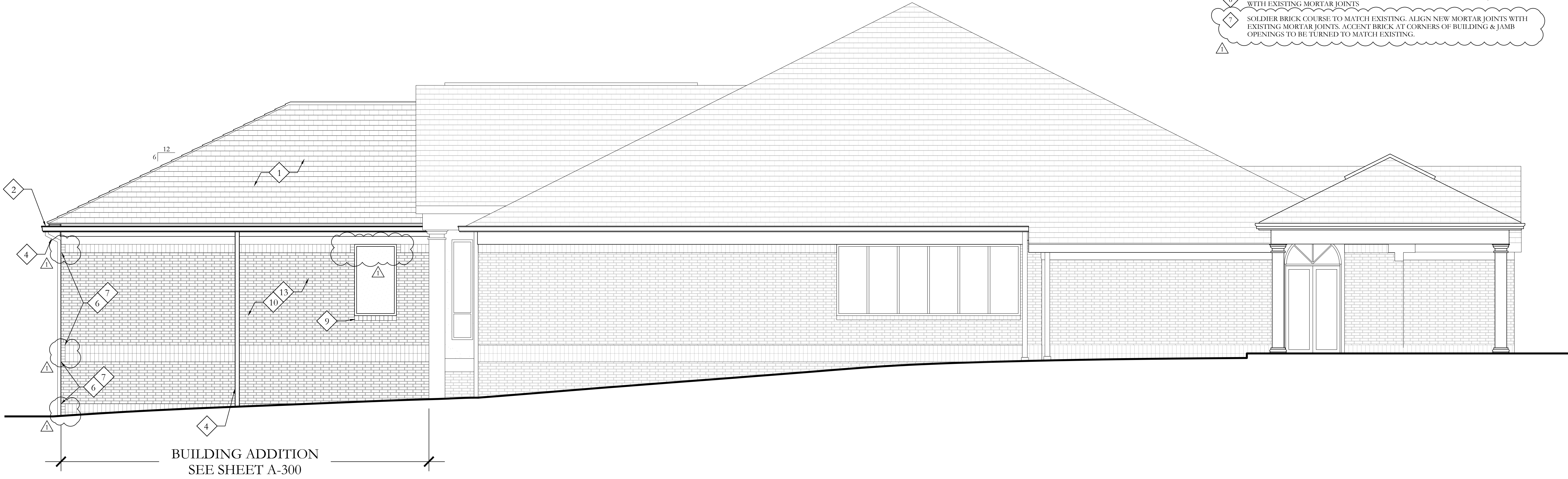
1/2" CONTROL JOINT
- 12

STEEL & CONCRETE BOLLARD - REFER TO CIVIL DRAWINGS
- 13

ALL CORNER BRICK & BRICK AT JAMB OPENINGS TO HAVE FINISHED ENDS
- 14

FOR UNDERGROUND DOWNSPOUT DRAINAGE & DOWNSPOUT BOOT DETAILS REFER TO CIVIL DRAWINGS
- 15

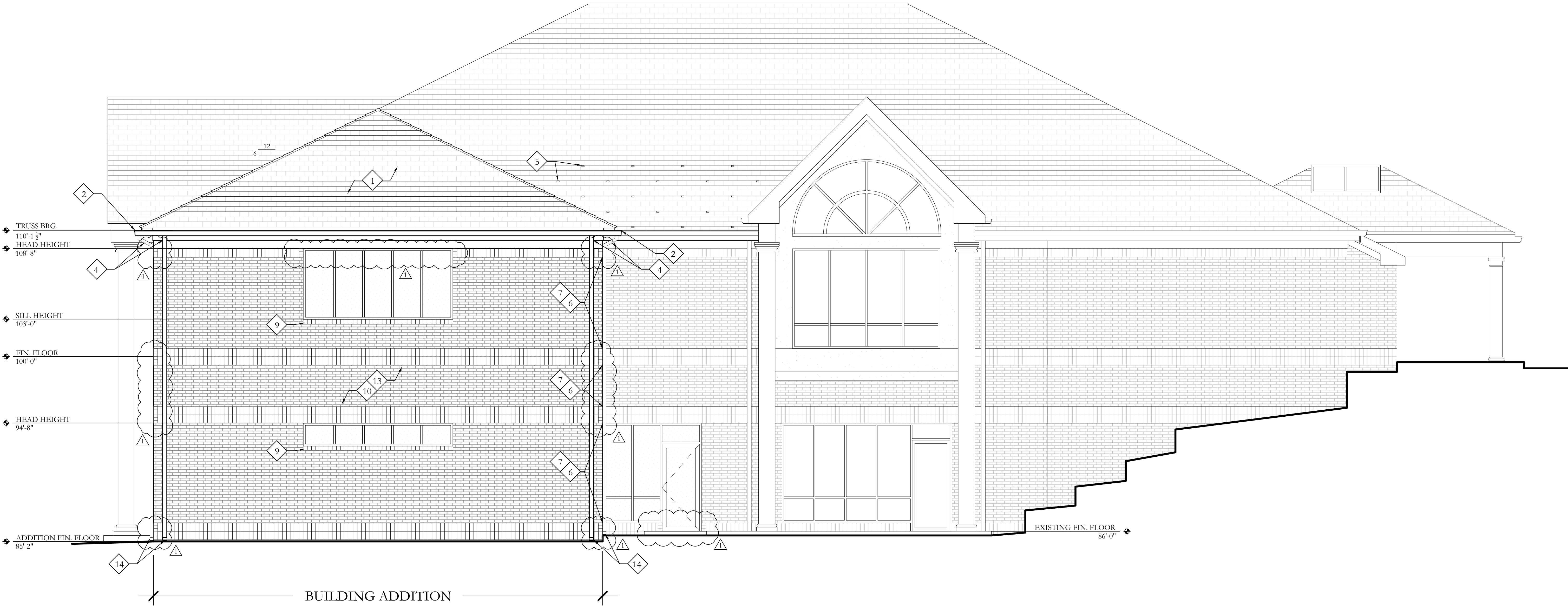
WRAP OVERHEAD DOOR JAMB W/ BENT PLATE - REFER TO STRUCTURAL DRAWINGS



NEW CONSTRUCTION SOUTH ELEVATION

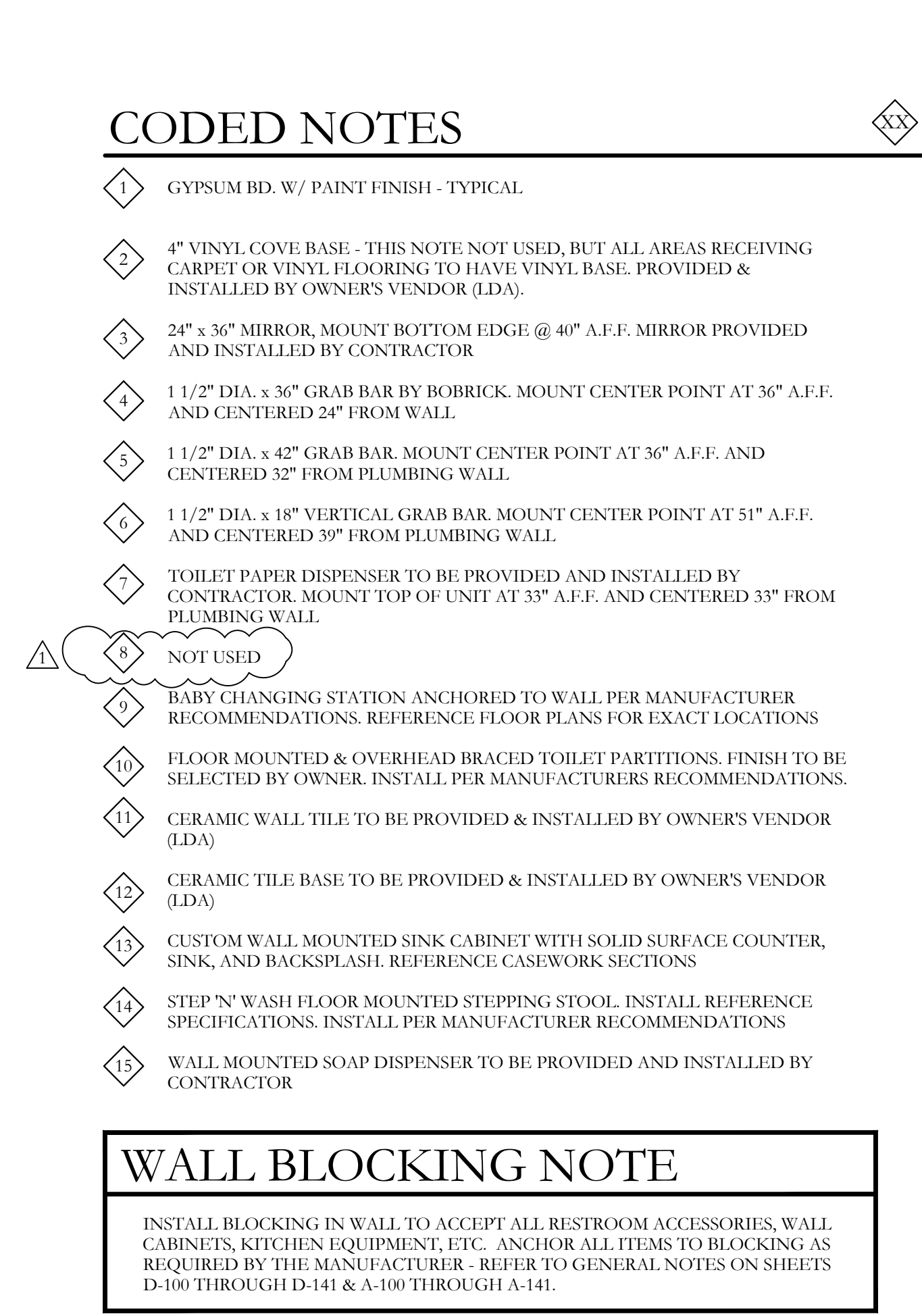
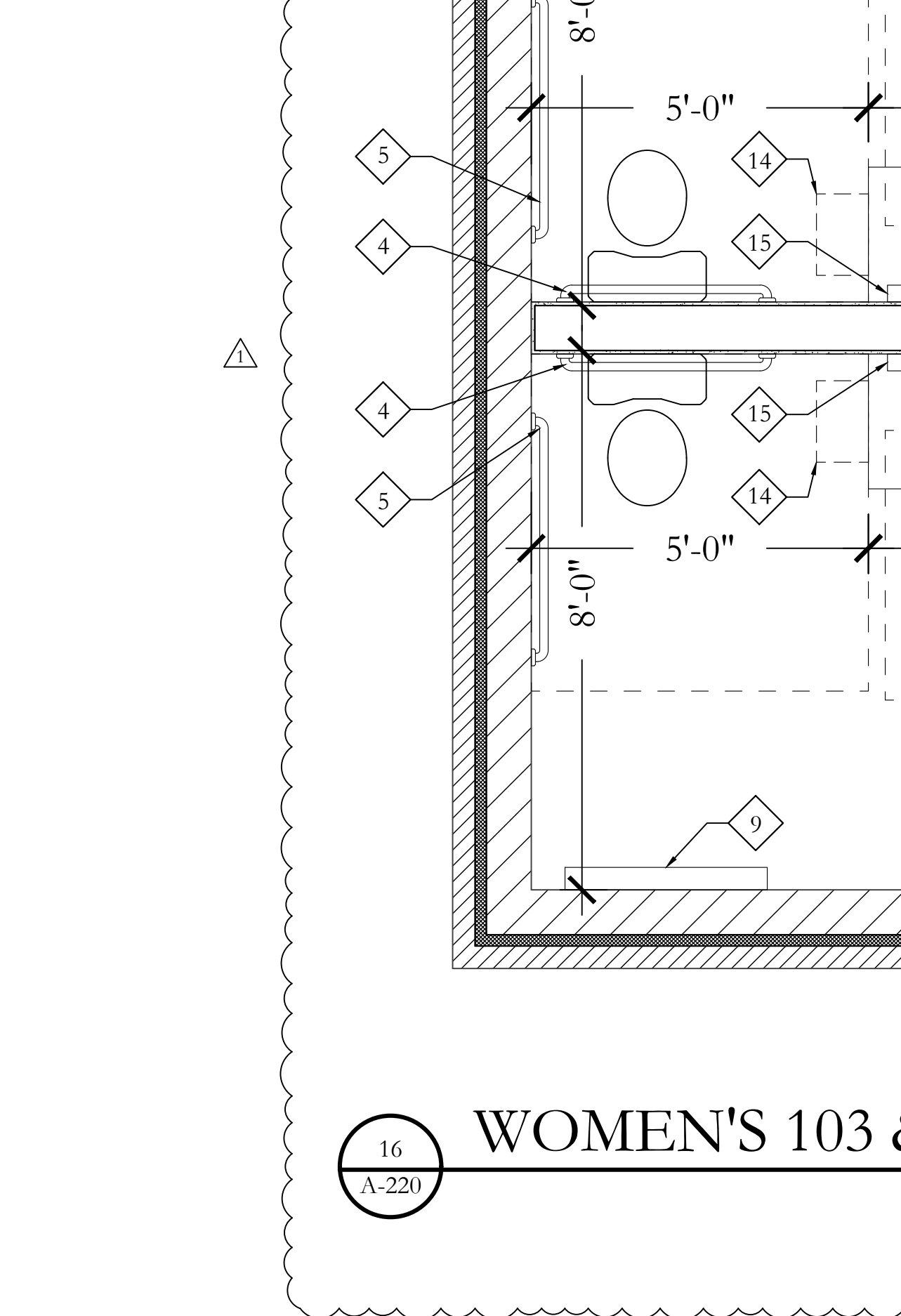
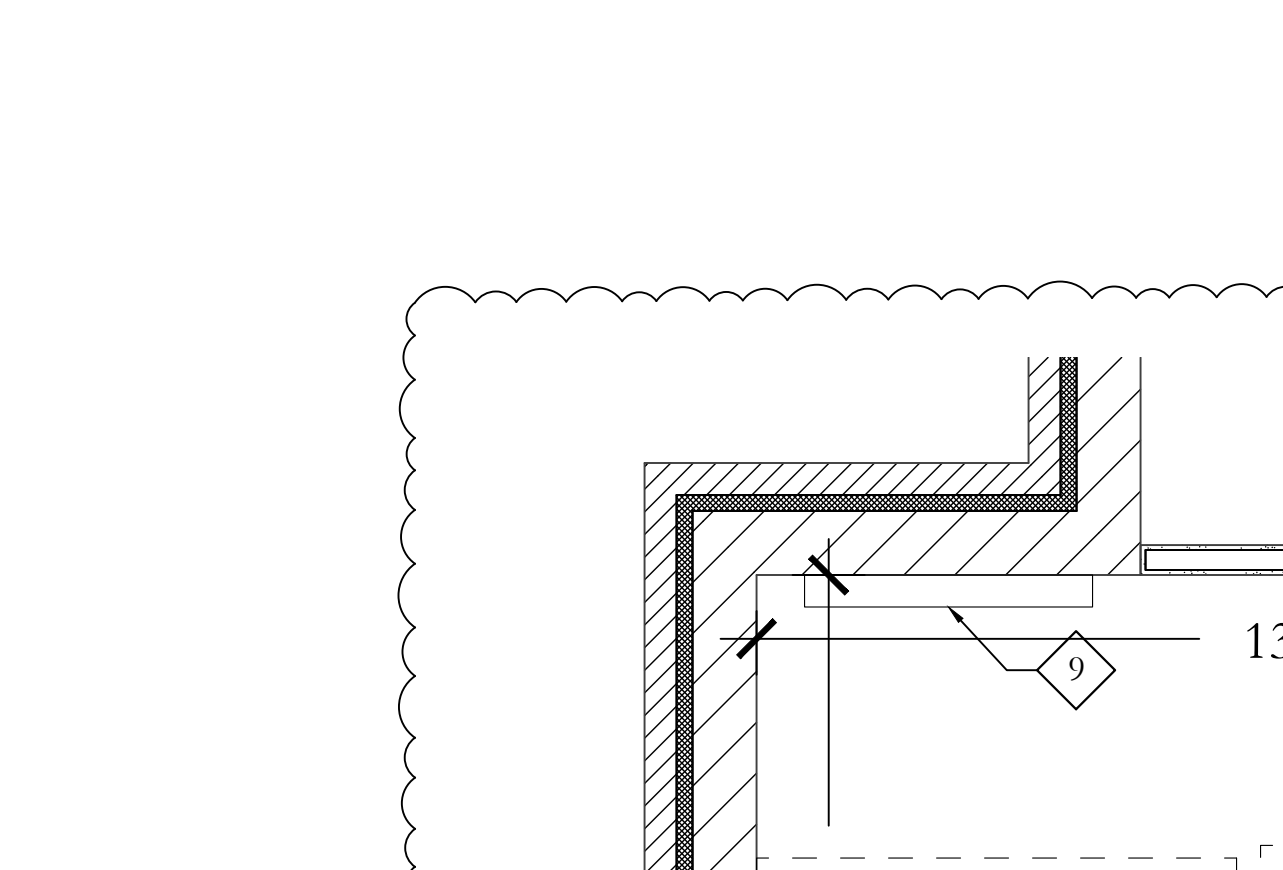
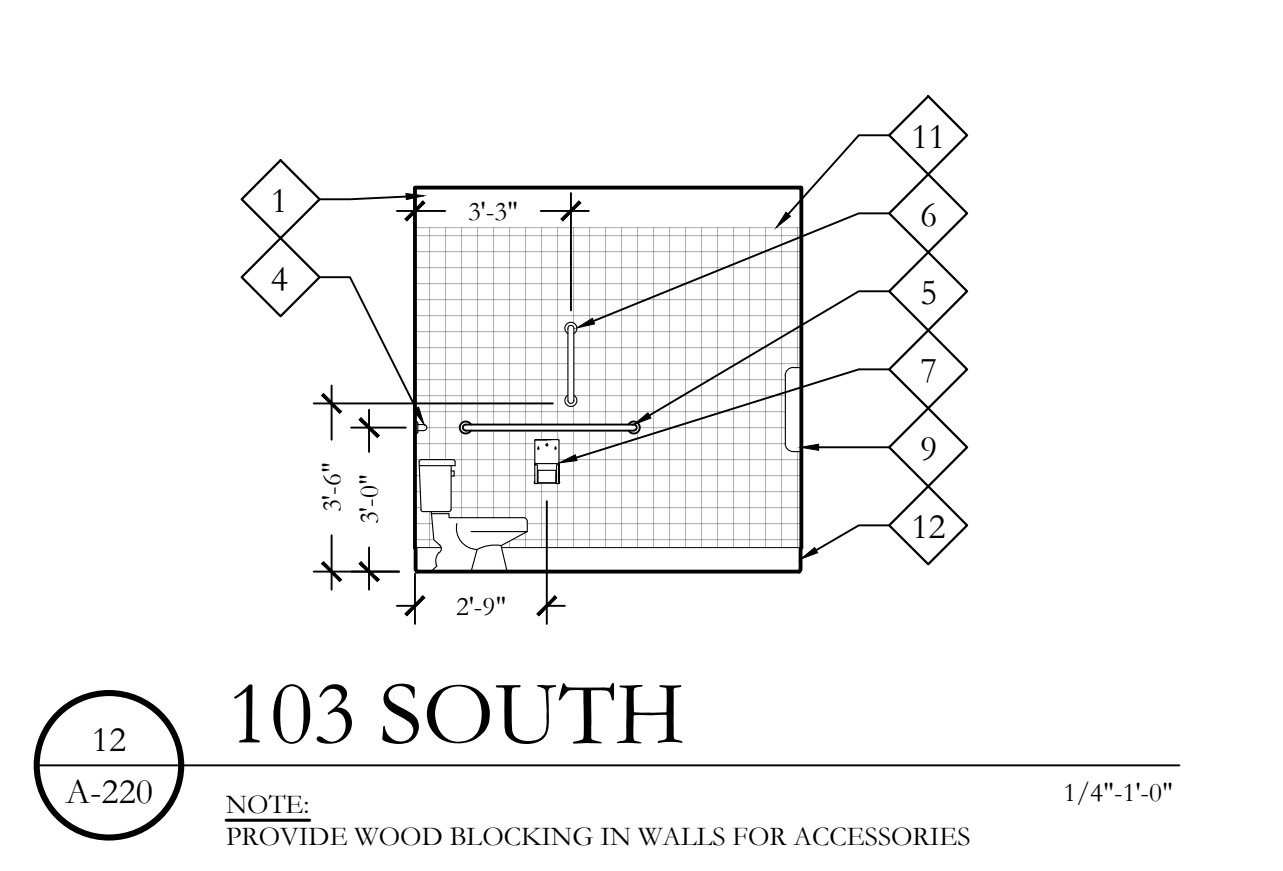
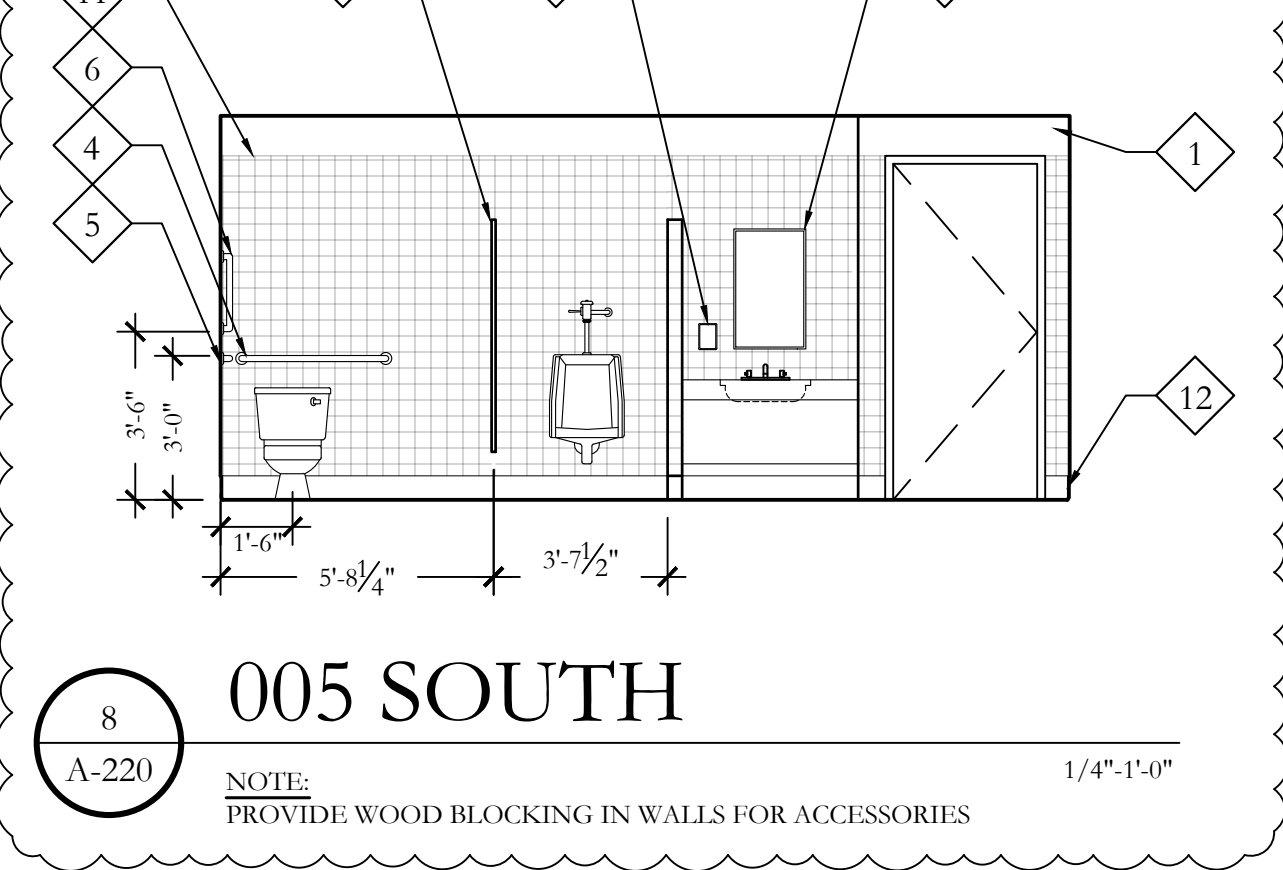
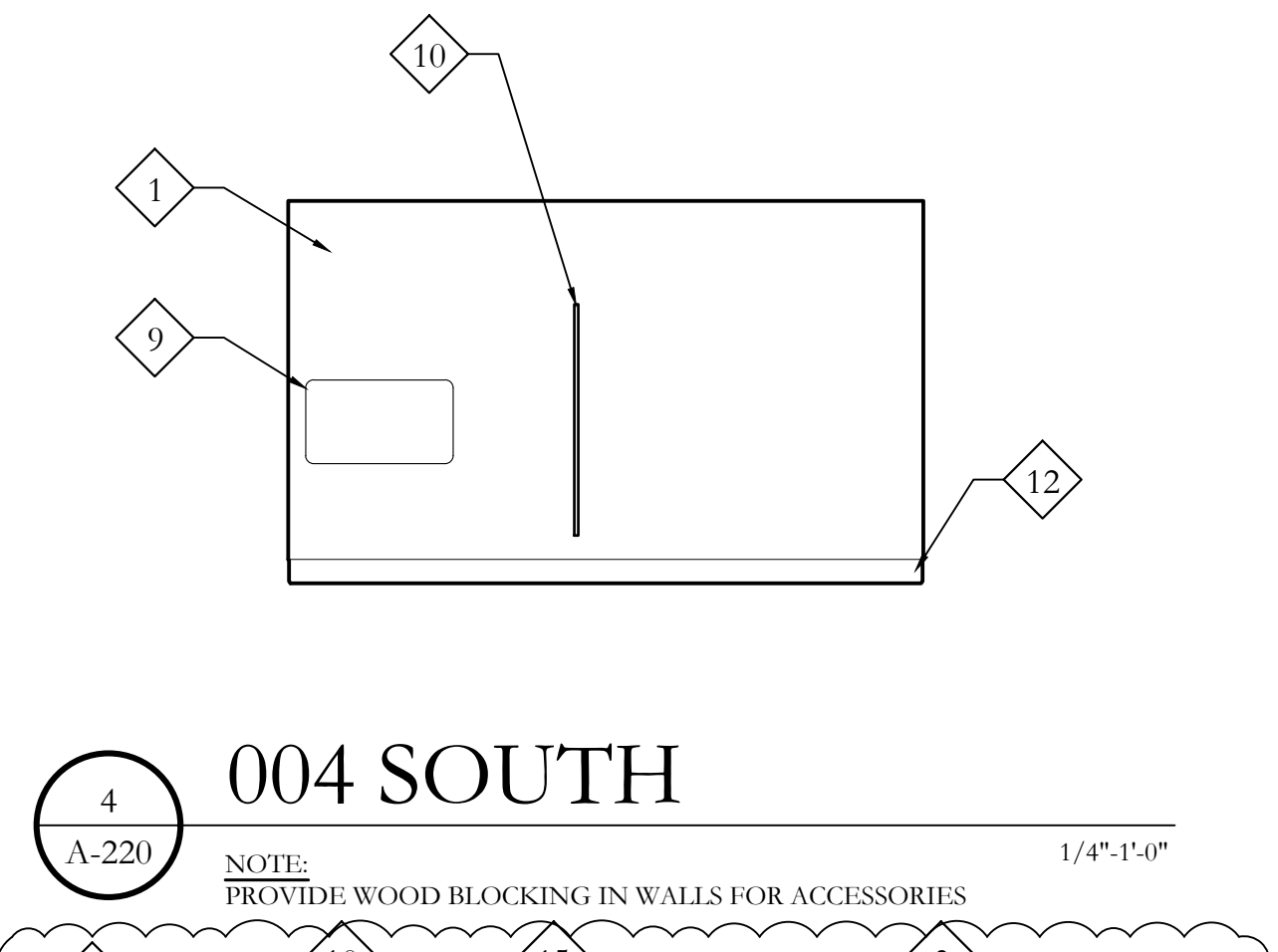
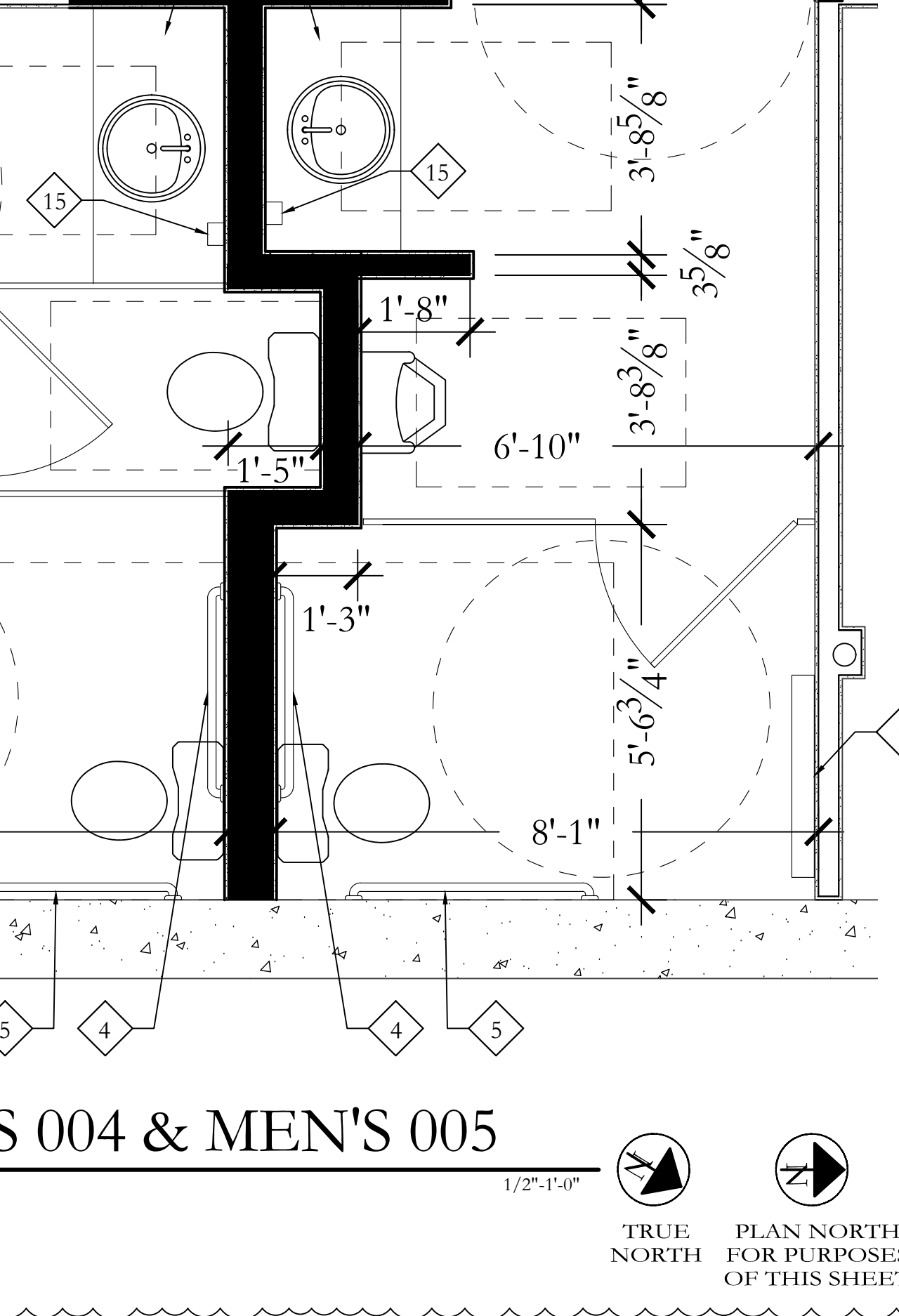
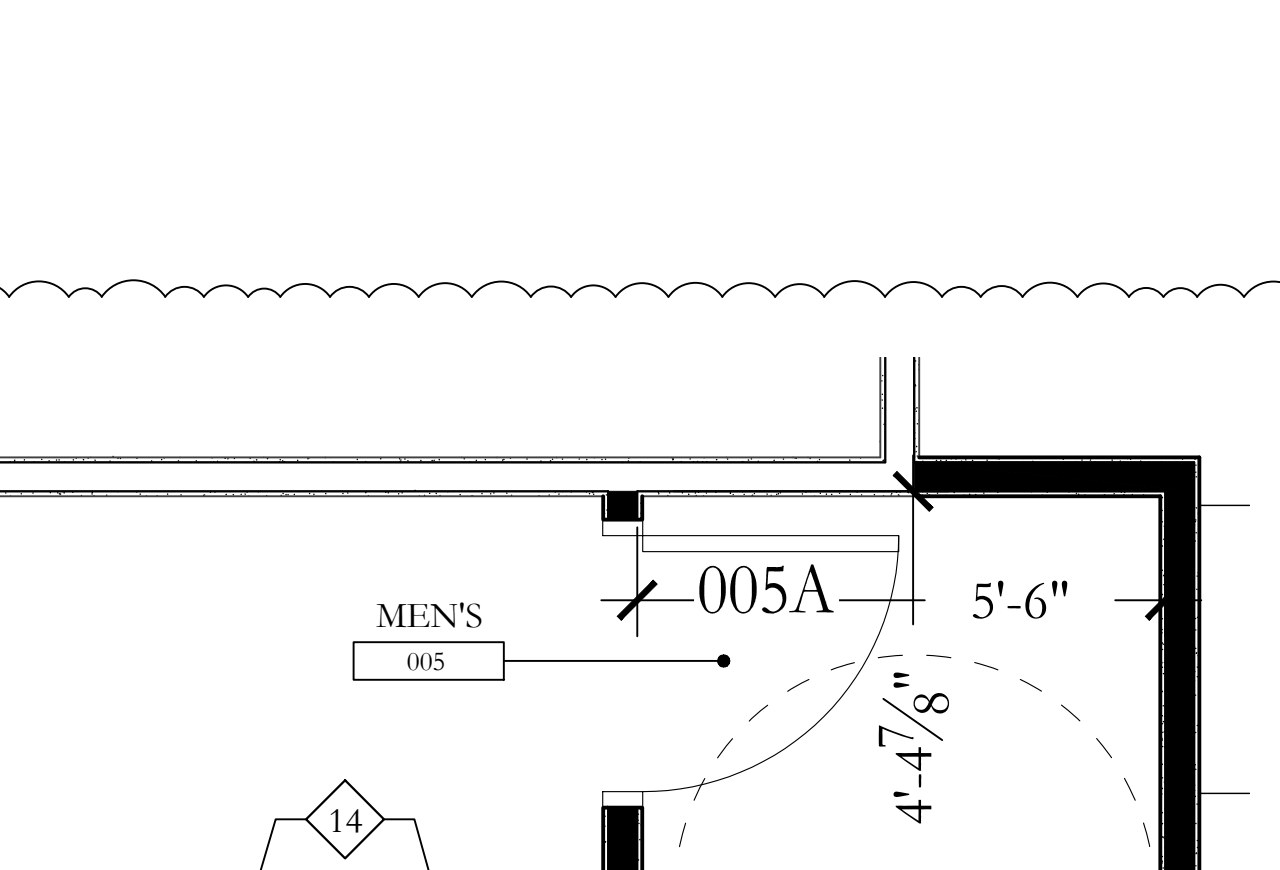
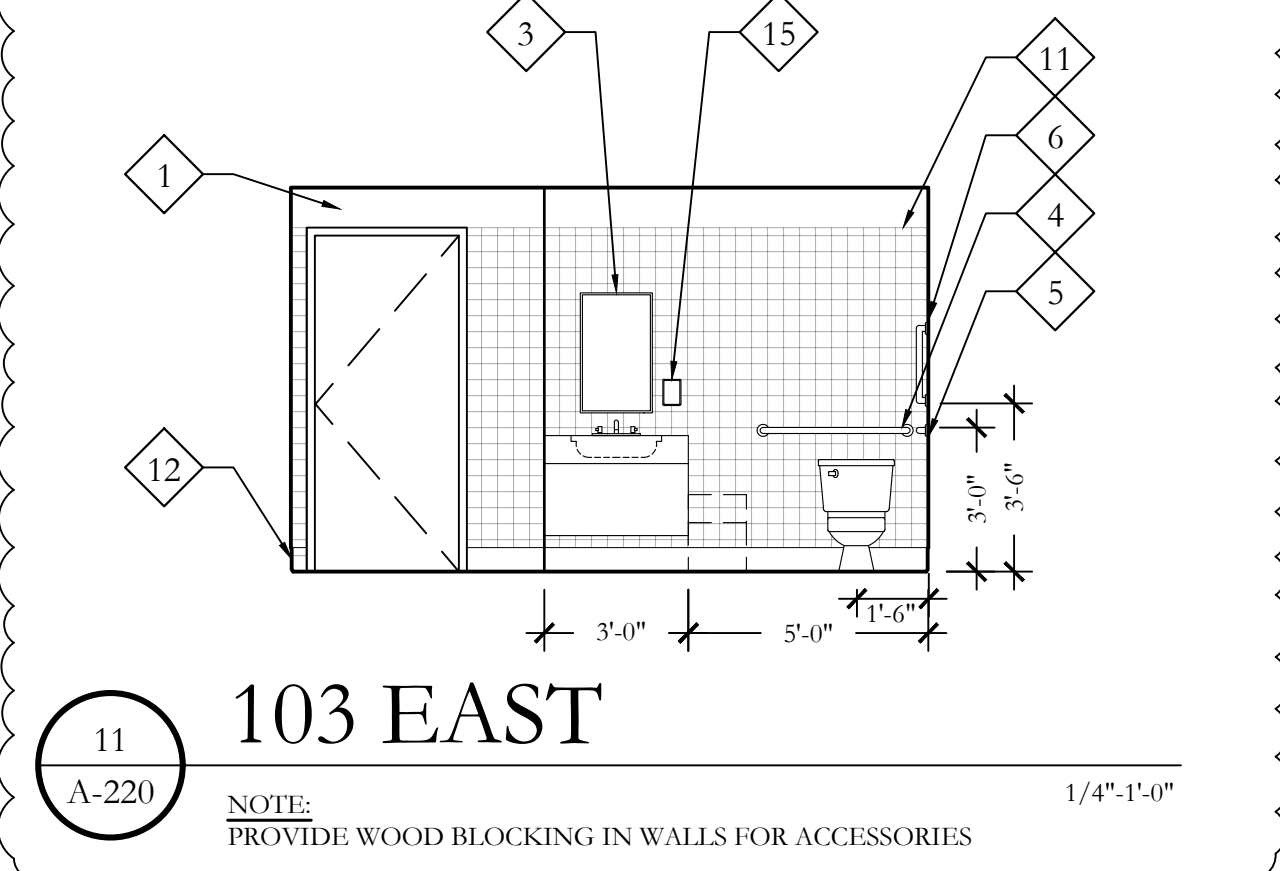
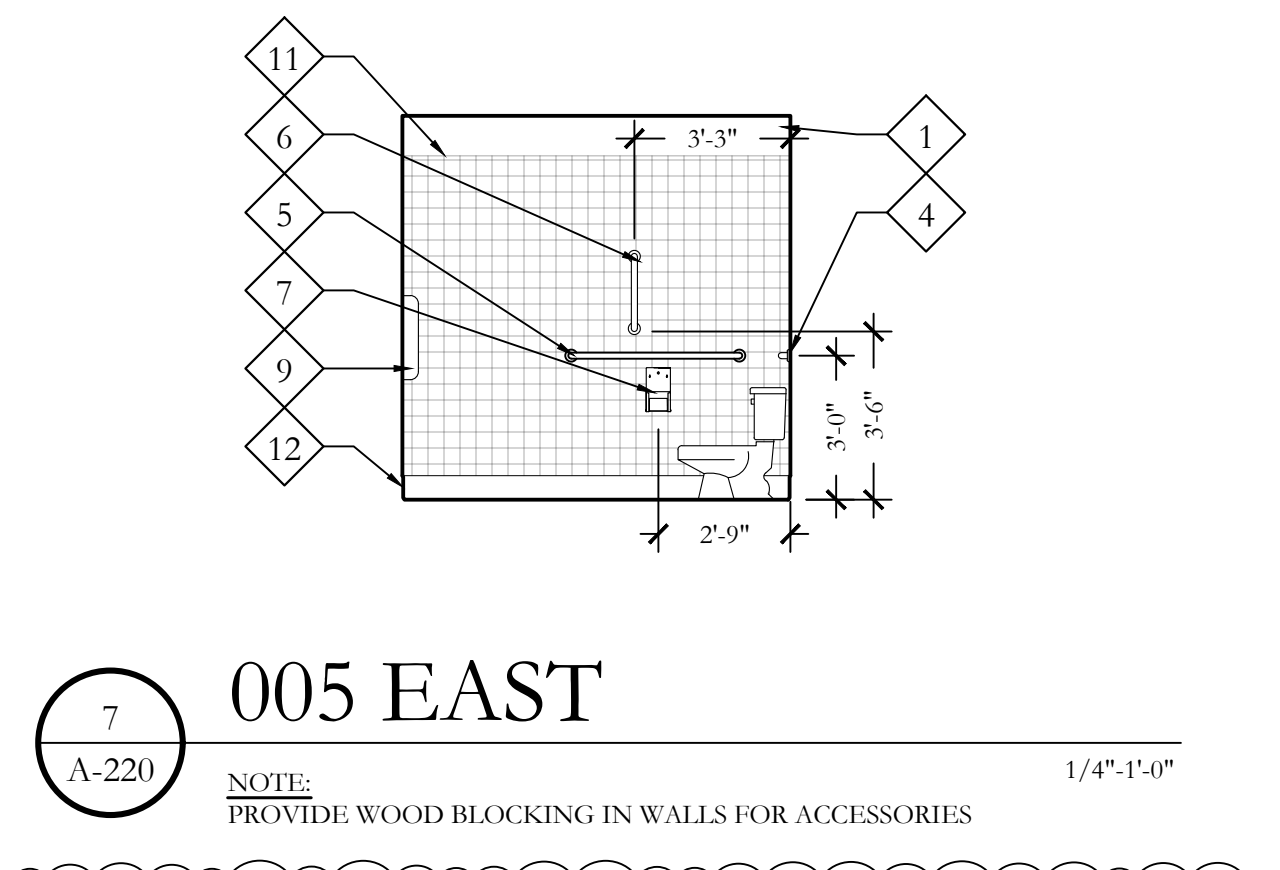
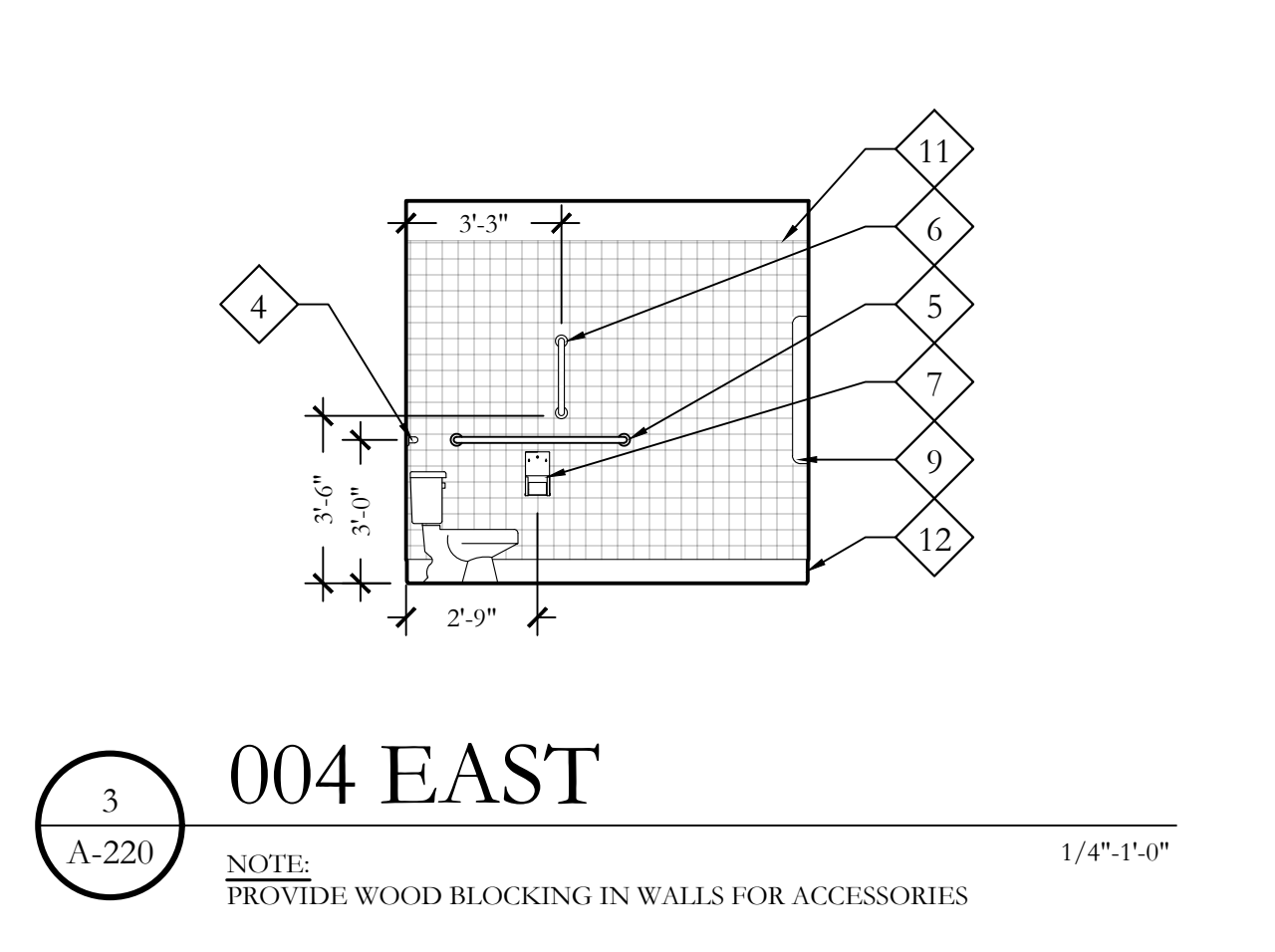
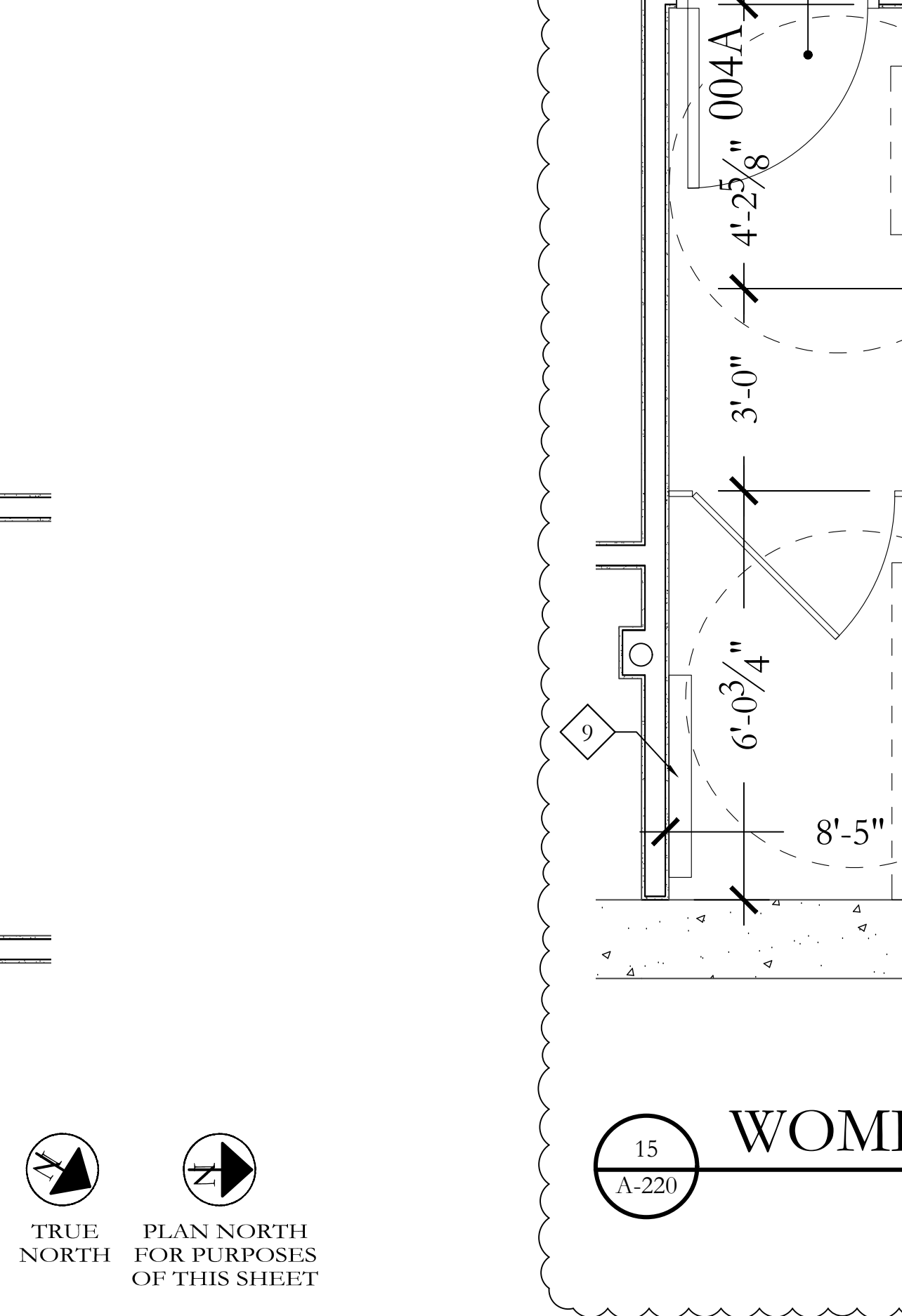
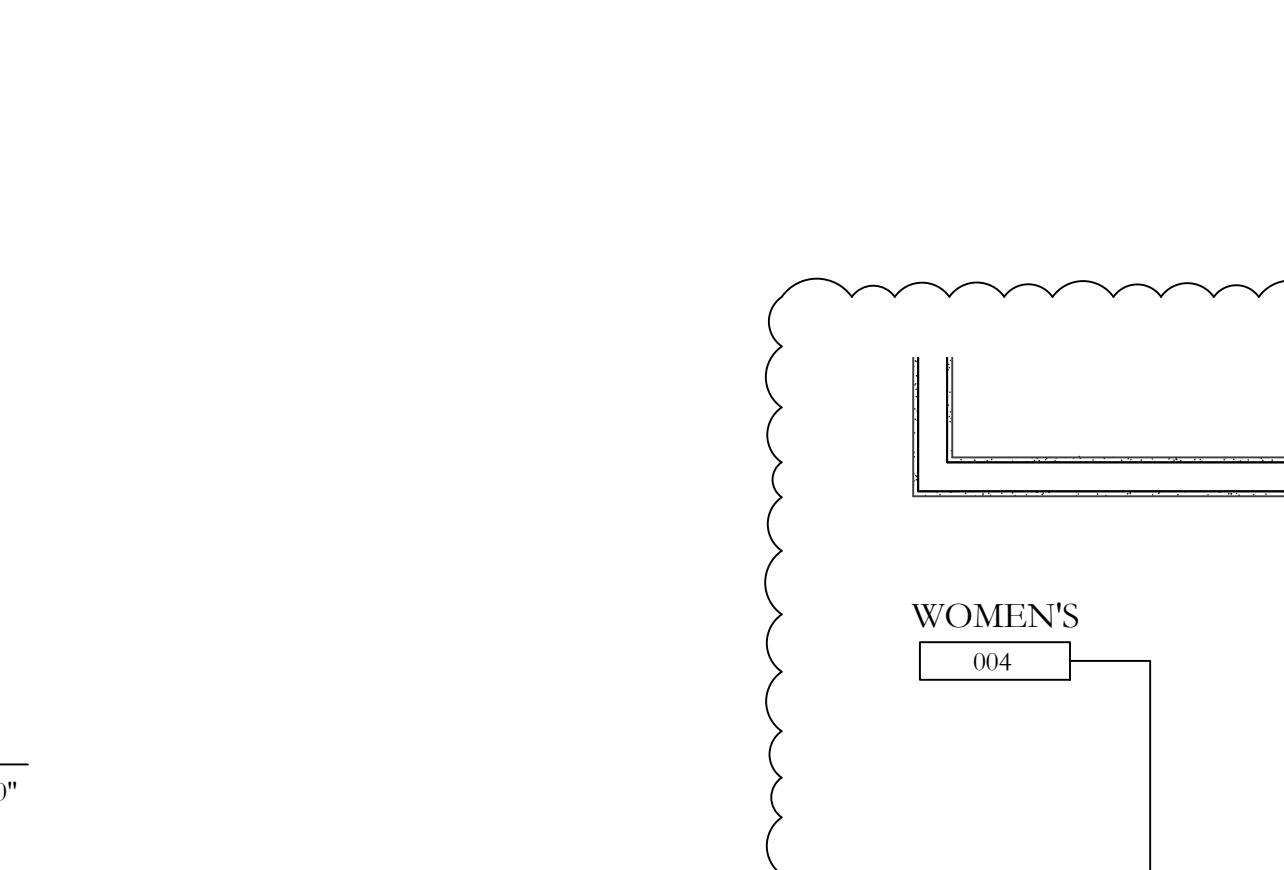
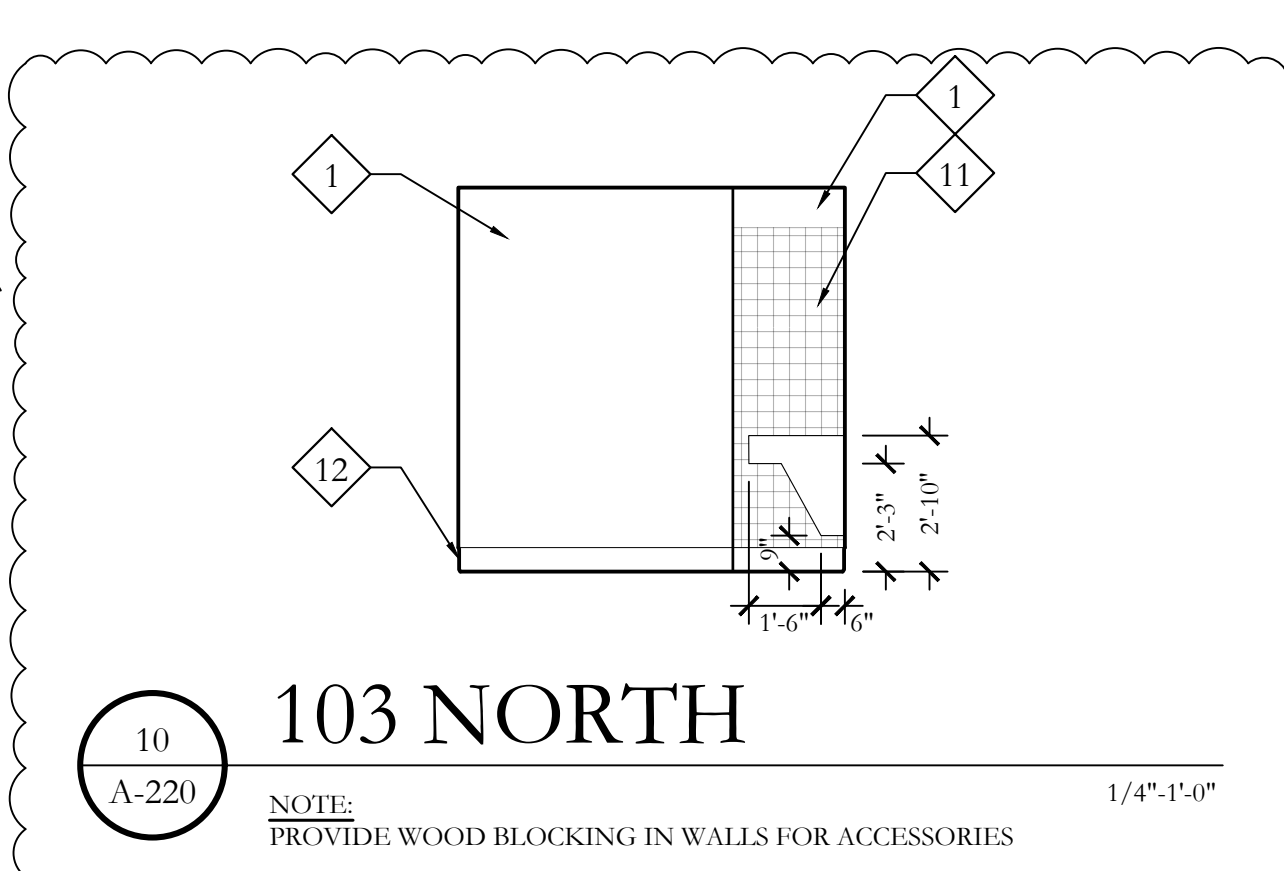
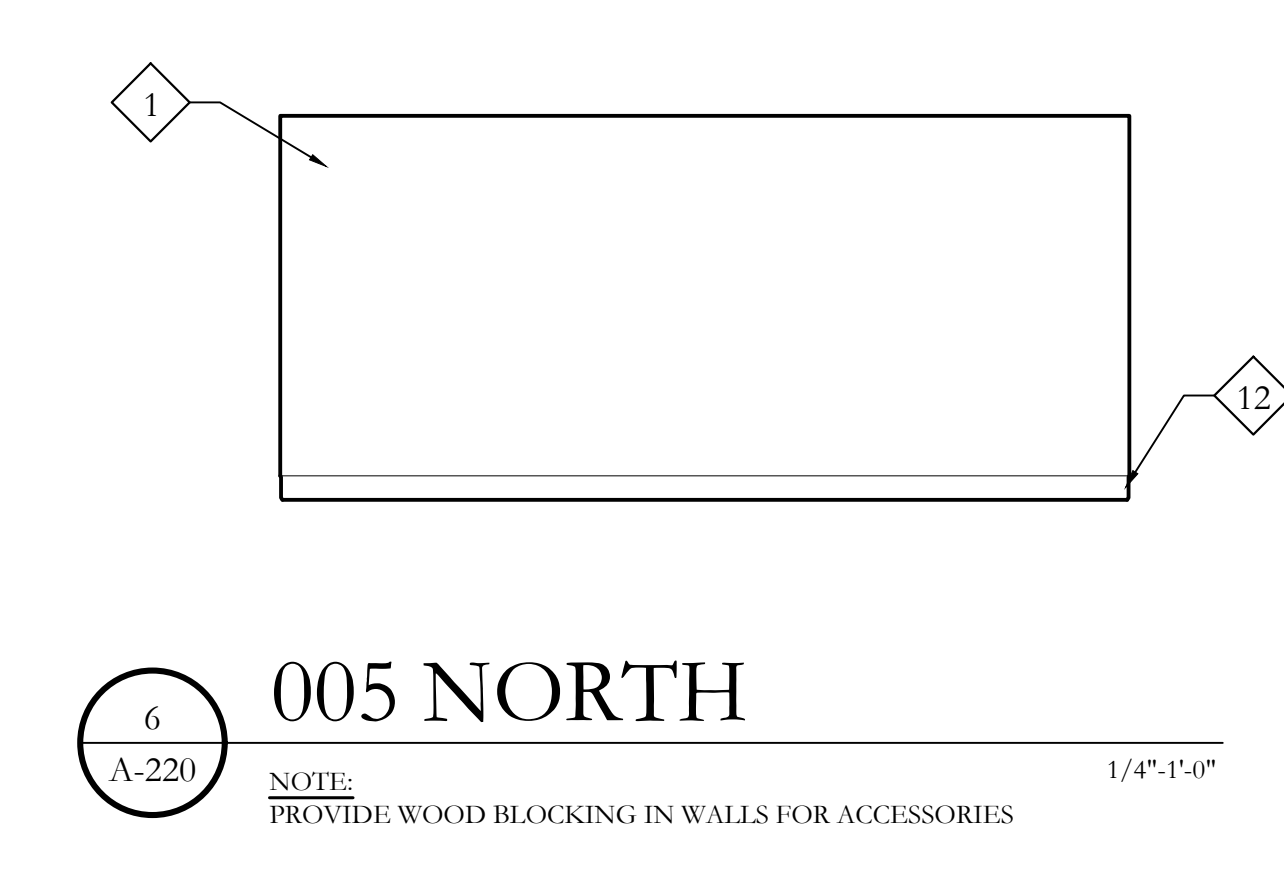
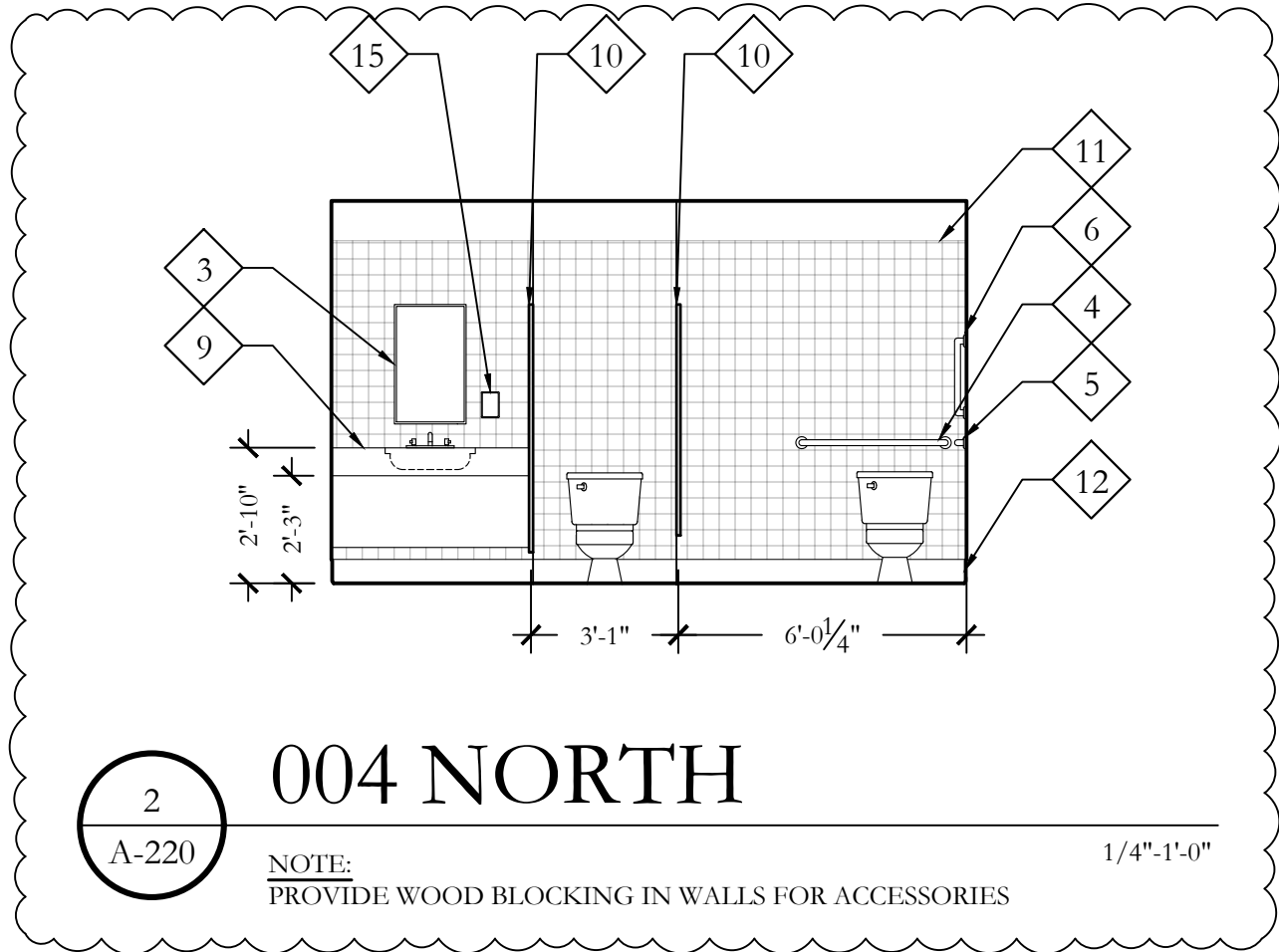
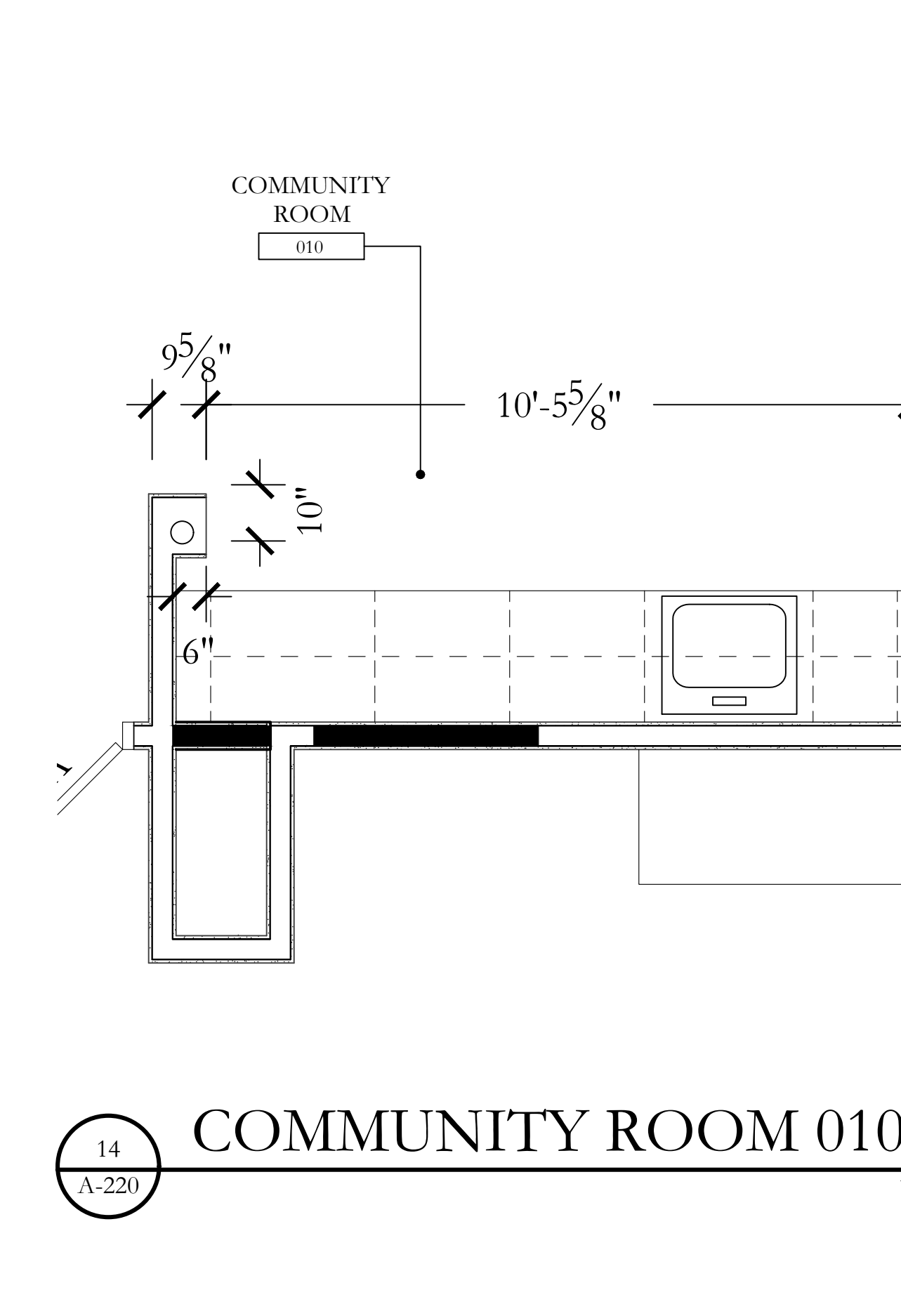
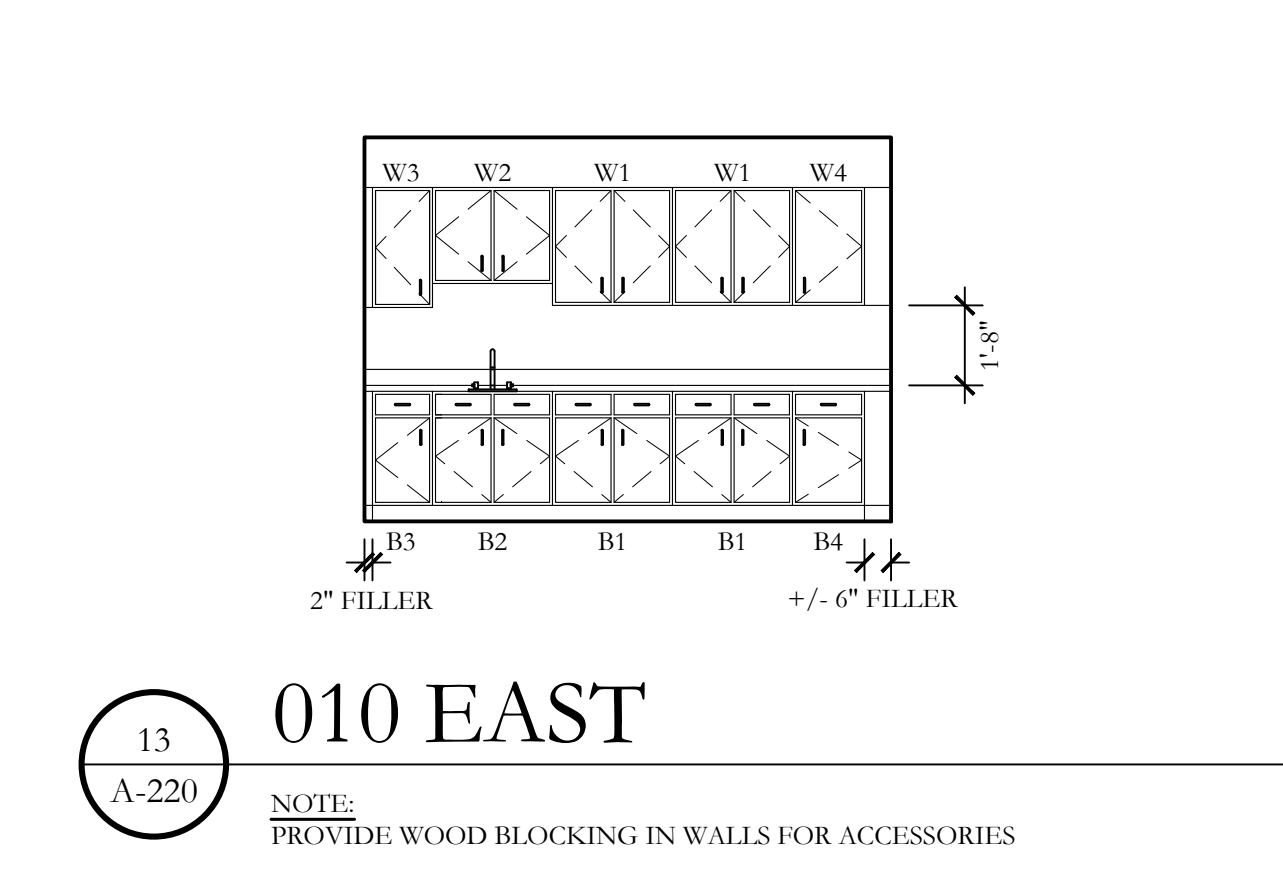
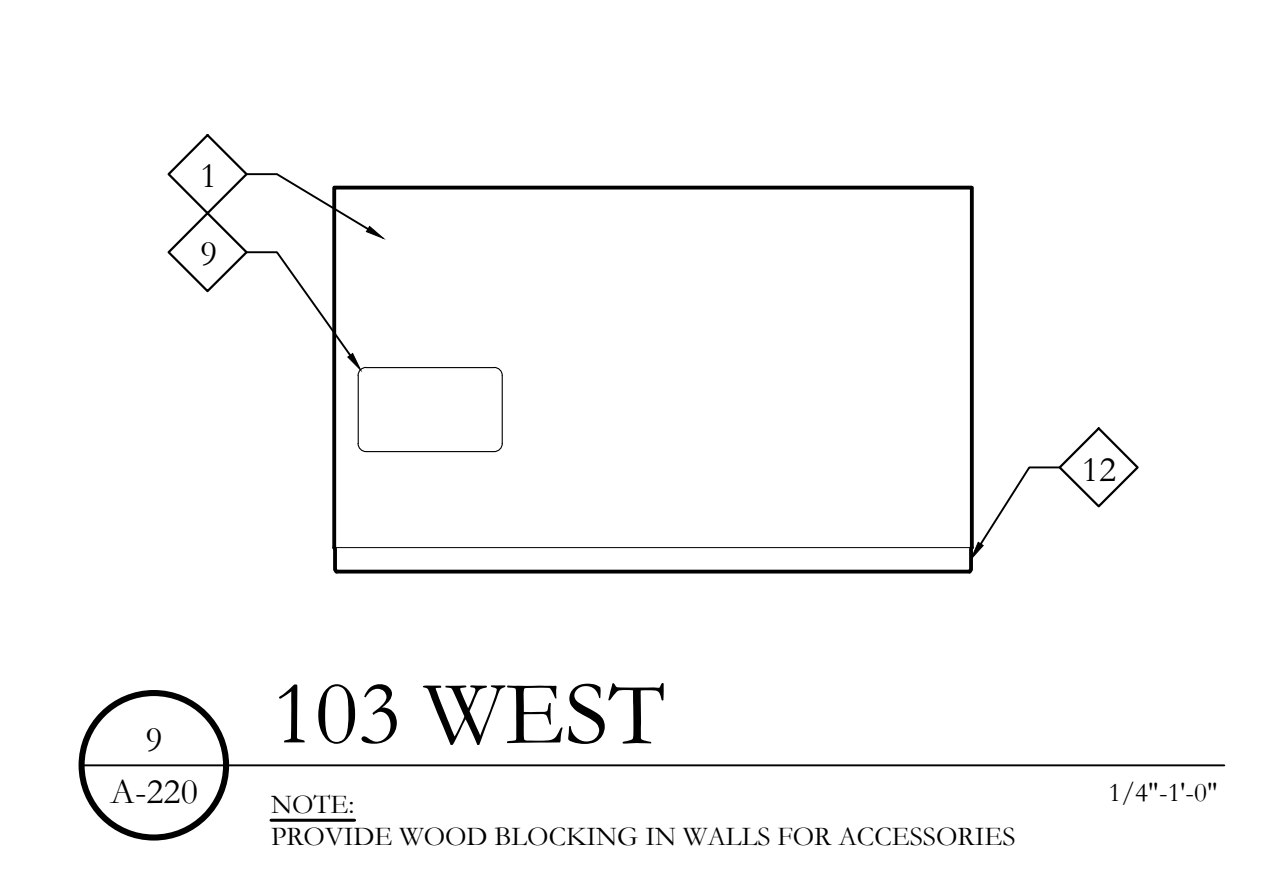
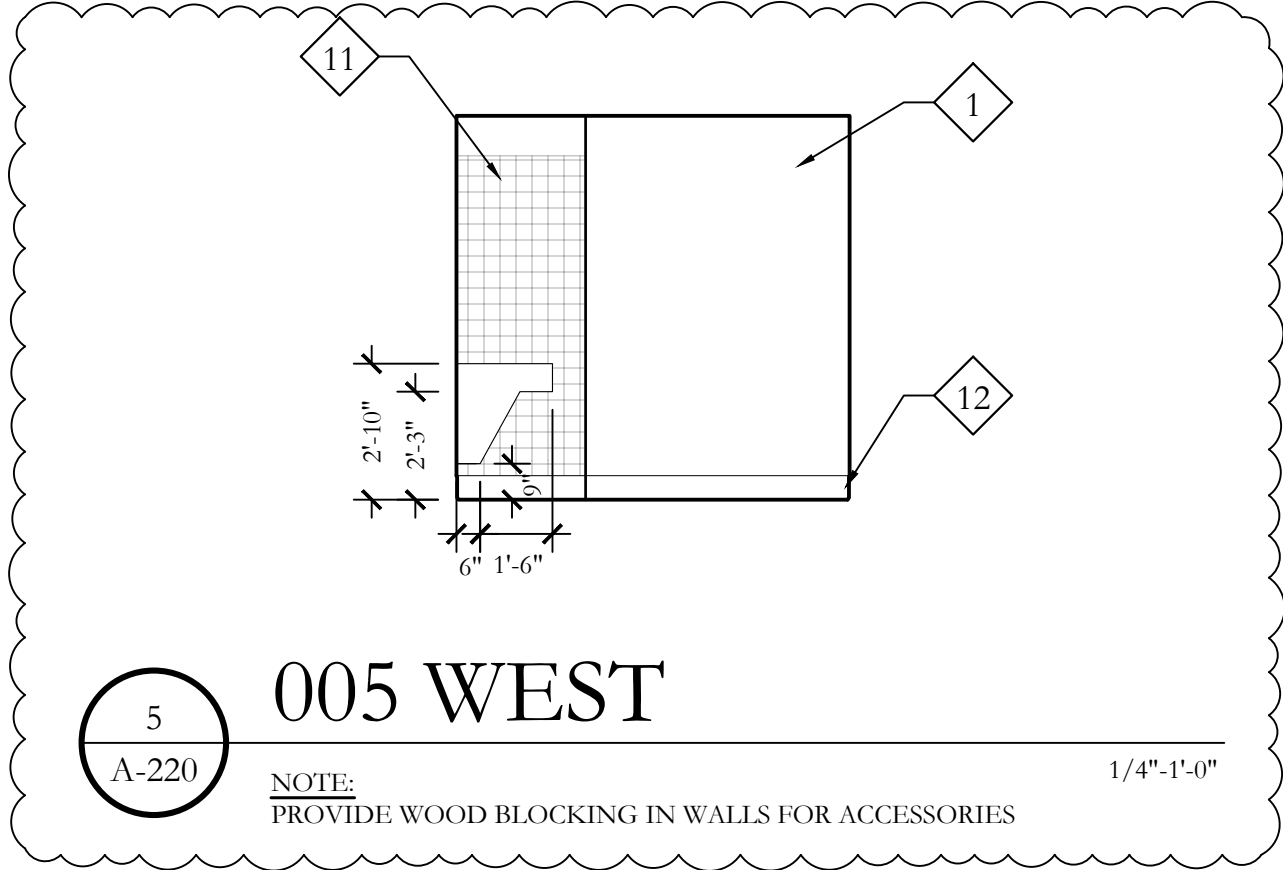
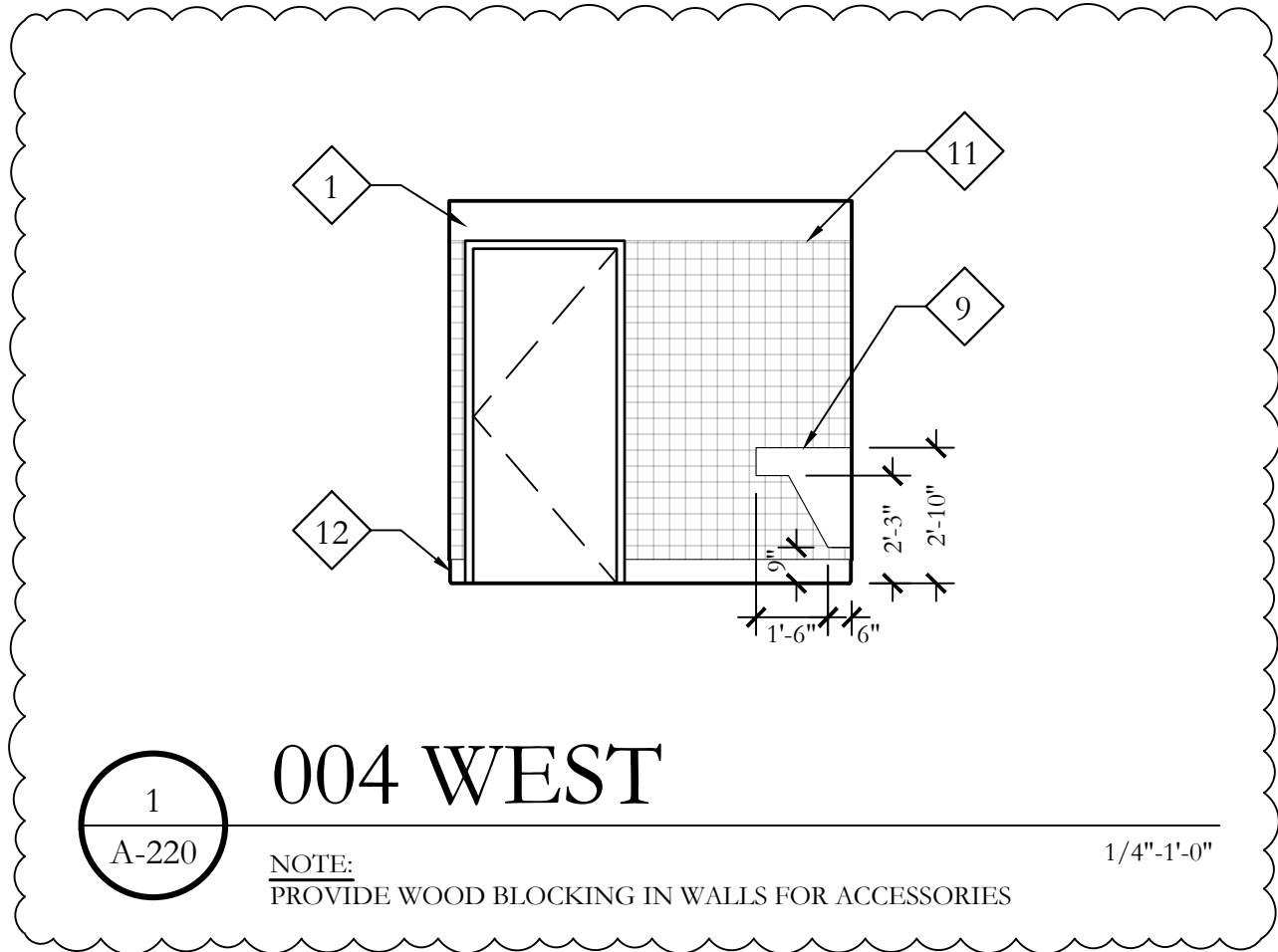
NOTES:
ADDITIONAL ELEVATION - SEE SHEET A-300

1/4"=1'-0"



NEW CONSTRUCTION WEST ELEVATION

1/4"=1'-0"



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PCDL
NEW LEXINGTON
ADDITION
RENOVATION

PRELIMINARY
DRAWING
14 MAR 25
NOT FOR
CONSTRUCTION

INTERIOR
ELEVATIONS &
ENLAGRED
FLOOR PLANS

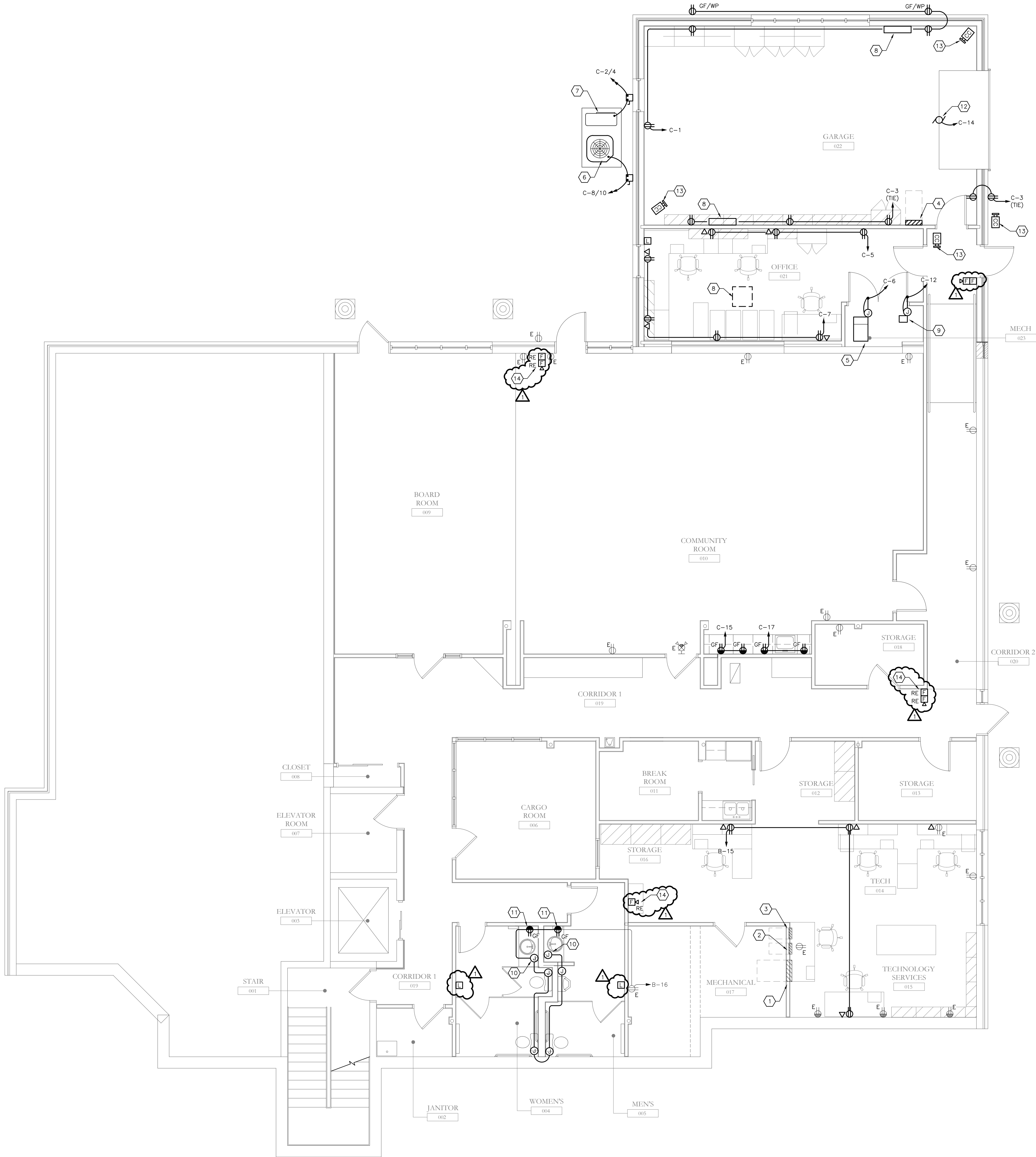
REVISIONS:	
DATE:	NOTE:
4/7/2025	ADDENDUM 1

JOB #:	DATE:
2438	14 MAR 2025
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A-220



E-101



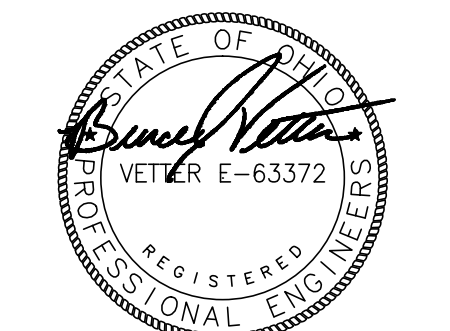
LOWER LEVEL POWER PLAN
SCALE: 3/16"=1'-0"

GENERAL POWER NOTES

- A. EVERYTHING SHOWN ON THIS DRAWING AND/OR IDENTIFIED IN THE DIVISION 26, 27, AND 28 SPECIFICATIONS IS FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. IF ANY DEVICE, EQUIPMENT, FEEDERS, ETC. IS FURNISHED AND/OR INSTALLED BY ANYONE OTHER THAN THE ELECTRICAL CONTRACTOR, IT WILL BE SPECIFICALLY NOTED.
- B. E.C. SHALL REVIEW OTHER TRADES DRAWINGS, AND COORDINATE WITH OTHER TRADES TO AVOID CONFLICTS WITH THE EC'S INSTALLATIONS. FAILURE TO COORDINATE WILL RESULT IN THE EC REMEDYING HIS CONFLICT(S) AT HIS EXPENSE.
- C. FOR VOLTAGE DROP ON 120V CIRCUITS, THE MAXIMUM LENGTHS ARE AS FOLLOWS: #12=65 FEET, #10=108 FEET, AND #8=162 FEET. FOR 277V CIRCUITS, MAXIMUM LENGTHS SHALL BE #12=150 FEET, #10=247 FEET, AND #8=376 FEET. THESE DISTANCES MUST BE FOLLOWED TO MAINTAIN 3% VOLTAGE DROP.
- D. ALL BACKBOXES LOCATED IN RATED WALLS MUST BE ENCASED IN FIRE PUTTY SEALANT. ALL CONDUITS THAT PASS THRU RATED WALLS MUST BE FIRE SEALED ON BOTH SIDES OF THE WALL. COORDINATE WITH THE ARCHITECT'S DRAWINGS FOR LOCATIONS OF THE RATED WALLS.
- E. LOCATION OF DEVICES ARE SCHEMATIC. REFER TO THE ARCHITECT'S INTERIOR ELEVATIONS FOR EXACT LOCATIONS AND MOUNTING HEIGHTS FOR ALL DEVICES. LOCATING ON THE NEAREST STUD IS NOT ACCEPTABLE. COORDINATE WITH THE GC TO INSTALL ADDITIONAL BRACING/SUPPORTS, ETC. SO THAT THE ARCHITECT'S DIMENSIONS ARE MAINTAINED.
- F. PROVIDE A NEW TYPED UPDATED PANEL DIRECTORY FOR ALL BRANCH CIRCUIT CHANGES TO NEW AND EXISTING ELECTRICAL PANELS IN AREA OF WORK. INDICATE ANY SPARE CIRCUIT BREAKERS.
- G. ELECTRICAL CONTRACTOR TO CIRCUIT TRACE ALL EXISTING LIGHTING, WIRING DEVICES AND MECHANICAL EQUIPMENT TO REMAIN IN PROJECT SCOPE OF WORK AREA AND UPDATE EXISTING PANELBOARD SCHEDULES ACCORDINGLY.

PLAN NOTES

1. EXISTING PANEL "MDP-1" TO REMAIN
2. EXISTING PANEL "B" TO REMAIN
3. EXISTING PANEL "B-BL" TO REMAIN
4. PROVIDE NEW PANEL "C", SEE RISER DIAGRAM.
5. FURNACE F-1: 120V-1Ø, 8.8A PROVIDE (2) #12 AND (1) #12 GROUND IN 3/4" CONDUIT FROM UNIT THROUGH A SINGLE POLE TOGGLE SWITCH DISCONNECT TO A 15A-1P BREAKER IN PANEL AS INDICATED.
6. CONDENSER CU-1: 120V-1Ø, 22.9A PROVIDE (2) #10 AND (1) #10 GROUND IN 1" CONDUIT FROM UNIT THROUGH A 30A-2P DISCONNECT (IN A 3R BOX) TO A 25A-2P BREAKER IN PANEL AS INDICATED.
7. MINI-SPLIT HP-1: 208V-1Ø, 30.0A PROVIDE (2) #10 AND (1) #10 GROUND IN 1" CONDUIT FROM UNIT THROUGH A 30A-2P DISCONNECT (IN A 3R BOX) TO A 25A-2P BREAKER IN PANEL AS INDICATED.
8. WIRE MINI-SPLIT UNIT TO MAIN OUTDOOR UNIT COMPLETE PER MANUFACTURER'S INSTRUCTIONS.
9. HUMIDIFIER SH1: 120V-1Ø, 16A PROVIDE (2) #12 AND (1) #12 GROUND IN 3/4" CONDUIT FROM UNIT THROUGH A SINGLE POLE TOGGLE SWITCH DISCONNECT TO A 20A-1P BREAKER IN PANEL AS INDICATED.
10. PROVIDE JUNCTION BOX(S) AND CIRCUIT FOR CONNECTION OF HARDWIRED AUTOFLUSH TOILETS, URINALS, AND SINK FLOW OPERATION. COORDINATE EXACT NUMBER OF JUNCTION BOXES AND LOCATION WITH PLUMBING CONTRACTOR CONNECT TO RECEPTACLE CIRCUIT IN ROOM AS SHOWN.
11. CONNECT TO EXISTING CIRCUIT AND RECEPTACLE AS INDICATED.
12. PROVIDE POWER FOR GARAGE DOOR. COORDINATE EXACT LOCATION AND POWER REQUIREMENTS WITH DOOR SUPPLIER.
13. CAMERA LOCATION: ELECTRICIAN TO PROVIDE JUNCTION BOX FOR INSTALL OF LOW VOLTAGE CAMERA. COORDINATE EXACT LOCATION OF JUNCTION BOXES WITH OWNER. INSTALLATION OF LOW VOLTAGE CABLE AND CAMERAS BY OTHERS.
14. RELOCATED FIRE DEVICE. CONNECT TO EXISTING FIRE ALARM SYSTEM.



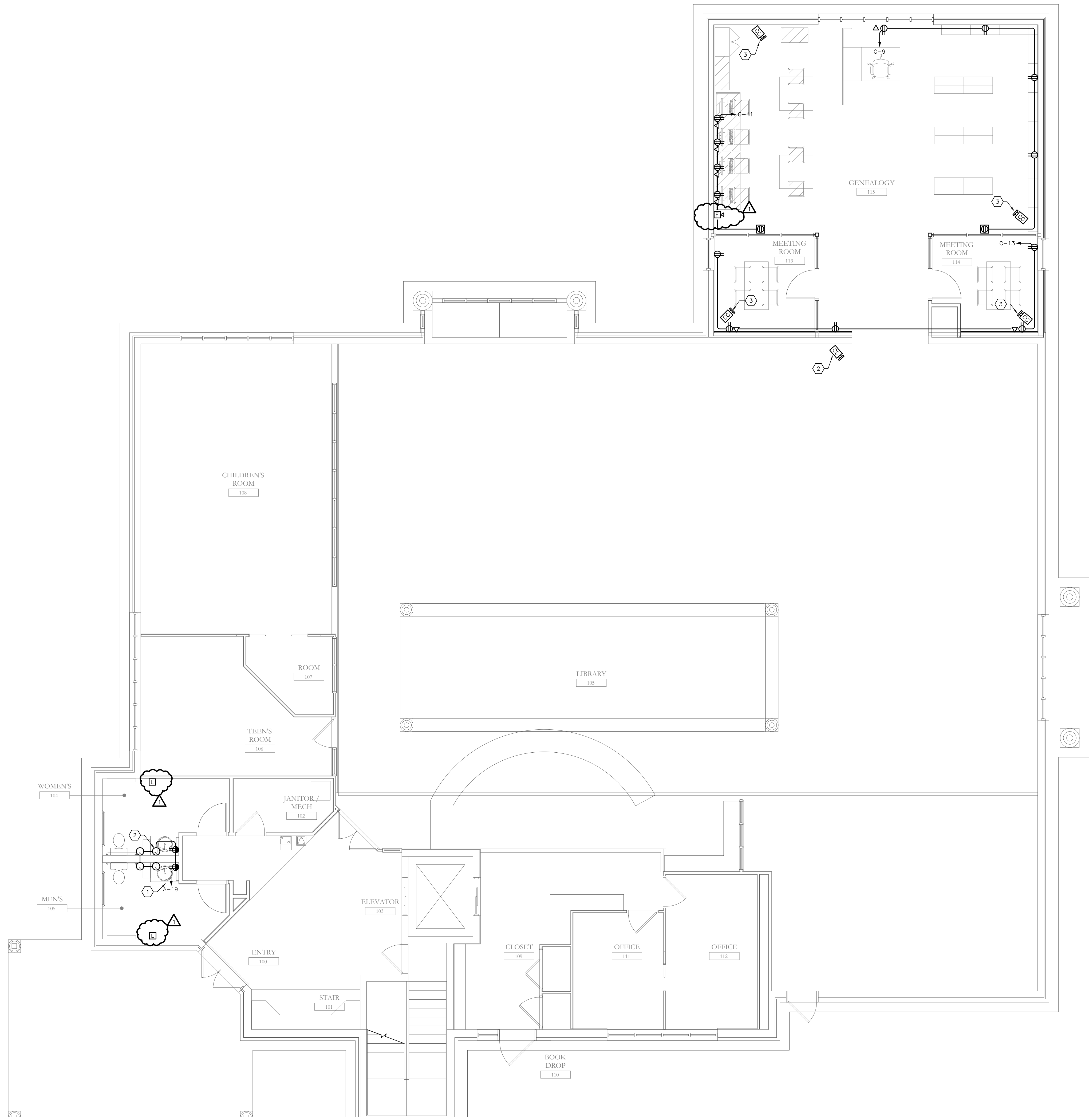
PCDL
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ADDITION
RENOVATION

LOWER LEVEL
POWER
PLAN

REVISIONS:

1	04/07/25	ADDENDUM #1

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2438	07 APRIL 2025
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- PLAN NOTES
1.

CONNECT TO MAINTAINED RECEPTACLE CIRCUIT IN ROOM IN PANEL AS INDICATED.
2.

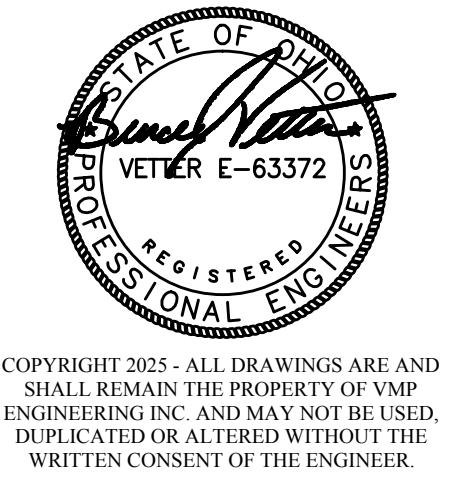
PROVIDE JUNCTION BOX(S) AND CIRCUIT FOR CONNECTION OF HARDWIRED AUTOFLUSH TOILETS, URINALS, AND SINK FLOW OPERATION. COORDINATE EXACT NUMBER OF JUNCTION BOXES AND LOCATION WITH PLUMBING CONTRACTOR. CONNECT TO RECEPTACLE CIRCUIT IN ROOM AS SHOWN.
3.

CAMERA LOCATION: ELECTRICIAN TO PROVIDE JUNCTION BOX FOR INSTALL OF LOW VOLTAGE CAMERA. COORDINATE EXACT LOCATION OF JUNCTION BOXES WITH OWNER. INSTALLATION OF LOW VOLTAGE CABLE AND CAMERAS BY LOW VOLTAGE CONTRACTORS.

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ADDITION
RENOVATION

UPPER LEVEL
POWER
PLAN

VMPENGINEERING INC.

6225 Emerald Parkway
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Phone: (614) 408-3862
Fax: (614) 408-3869

UPPER LEVEL POWER PLAN

SCALE: 3/16"=1'-0"

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	04/07/25	ADDENDUM #1
JOB #:	DATE:	
2438	07 APRIL 2025	
	SHEET #:	